

ADDENDUM #1

PROJECT NAME: SCCAD Headquarters

CLIENT NAME: St. Charles County Ambulance District

PROJECT NO.: 18007

Date: 2019-18-16

PREBID MEETING

1. See attached meeting minutes from the St. Charles County Ambulance District New Headquarters Pre-Bid Conference held on December 11, 2019 at 3:00 PM.
2. See attached sign in sheets obtained from the pre-bid conference.

CLARIFICATIONS / REQUEST FOR INFORMATION

1. The specifications indicate that there is to be a Site Logistics Plan attached to the documents. I could not find one, please provide one in the next addendum.
 - a. **See attached. Please note, this plan is to supplement (be in addition to) the information contained in the civil documents. Should there be a conflict in information please notify the Architect for clarity. The specifics in this plan supersede generic information noted.**
2. I'm emailing in regards to the Construction of a New Saint Charles County Ambulance District (SCCAD) Headquarters and wanted to know if there is a pre bid sign in sheet available from the 12/11/2019 meeting.
 - a. **See attached.**
3. Please clarify who pays utility company fees for bringing permanent utilities to the building? As an example, the plans indicate we are to provide primary power conduit and the feeder schedule indicates the feeders are "by utility". Please confirm that the owner is paying utility company fees for services provided by the utility company.
 - a. **Permanent power: Bidders to assume there is no fee from Ameren for the installation of permanent power. Contractor is still responsible for coordinating and scheduling the installation of permanent power. Contractor will be responsible for temporary power and the associated cost of installation by Ameren. Ameren has evaluated the potential demand for temporary power on this project, and has worked up an estimated cost to install a temporary ground-mounted transformer fed through the permanent conduit. Please contact Nathan Giessmann at Ameren (NGiessmann@ameren.com; 636-639-8215) for cost and pad specifications. The general contractor will be responsible for providing Ameren an access road to the temporary transformer, preparing the transformer pad site as well as an additional pad off to**

9. Verify that door #1653B is an aluminum door as shown on door schedule and what hardware is req'd for this door? (says set #51 in hardware schedule)
- a. **Door #1653B is a chain link fence gate. A hardware group will be issued in a future addendum.**
10. Door #1435A...door schedule says hardware set #6...section 080671/14 says set #13?
- a. **The hardware set for door #1435A is to be hardware set #6 NOT #13**
11. I cannot find doors # 2340 & 2343 thru 2347 on floor plans? 4.) alum door #1434 says it has #39 hardware..i don't think this is correct? advise
- a. **Doors # 2340 & 2343 thru 2347 do not exist and we will be removing them from the door schedule and hardware groups.**
12. What is the mix design for the precast? The specs are pretty vague but they say that it matches a sample at the architect's office so if I could get the mix design for that sample that would help us out a lot.
- a. **The mix design is to match GATE PRECAST COMPANY #11-098 in finish (fine tight sand texture) but be mixed to a gray color to match Sherwin Williams paint color SW7015 Repose Gray. Contractors will be required to provide samples for approval prior to construction of panels. .**
13. Can get a picture of the sample with the mix design that would help us even more (allows us to properly gauge the finish and the different aggregates).



- a.
14. 003101 General Contractor Scope of Work: "Item #44 Contractors shall grout fill frames per Architectural Details." Details on sheets A601 show no grouting. Please clarify?

- a. Grouting is to occur on all exterior openings within masonry and concrete wall types per specifications**
15. 003101 General Contractor Scope of Work: "Item #49 Include wall blocking....regardless of OFCI, OFOI or CFCI status". Dwgs A618 through A620 show a significant amount of owner OFOI items along walls. Please clarify what additional blocking is required as it is not indicated on the Architectural Drawings and Notes
- a. The contractor is to provide blocking for OFOI items noted that require blocking for anchorage. They are to coordinate anchorage requirements and final locations during framing.**
16. Speciation 102123 Cubicle Curtains and Track: Please clarify where this scope of work occurs?
- a. Reference Sheet A141 key note 13 for room "SIM 1417"**
17. Specification 105613 Metal Storage Shelving: Please clarify where this scope of work occurs?
- a. Specification 105613 Metal Storage Shelving has been omitted from the project.**
18. Regarding the roofing specs on this project. The way I'm reading it is that you all want the base layer of ISO mechanically fastened and the intermediate layers and top layer in cold adhesive and the cover board mechanically fastened. In the spec it says you all want the cover board mechanically fastened. Should it say you want the bottom layer mechanically fastened and the remaining layers in cold adhesive? Or do you really want one layer mechanically fastened, cold adhesive other ISO layers, and then mechanically fasten cover board?
- a. You are correct; the Insulation Cover Board is to be Cold Adhesive Attached. We will correct the specification section below.**
19. Are you expecting bids for access control and video surveillance separately?
- a. No these items are included in the electrical contractors bid. This would be up to the General Contractors that you are submitting bids to. The owner is soliciting bids from General Contractors only and they are to provide minor breakdowns of the costs. Consult the GC's you are soliciting.**
20. Will the access control provider also need to supply the new doors, or is there a door company handling that?
- a. The access control provider is to provide the integrated access control door hardware but not the doors themselves necessary. Consult the GC you are bidding to.**
21. Is the end user open to similar video surveillance solutions then Avigilon? We can offer same functionality and the specs calls out approved alternatives.
- a. Other manufacturers are acceptable that meets the specifications and are not made in China.**
22. The drawings indicate that the General Contractor is to supply and install new lifts for the service bays. I do not see any type of specification or vendor contact. Can you let us know what we are to supply?

- a. The drawings have been updated to include the lift specifications, see below (sheet A133)
- b. The owner also has an existing lift that will need to be disassembled and reassembled at the new location. The contractor is also responsible for this process.
- c. The owner has an existing Vender that they use for their lifts and their information is below:

Automotive Technology

544 Mae Ccourt, Fenton, MO 63026

Contact: Jim Neuman, 636-343-8101 office, 314-580-0538 cell

jimn@automotivetechonlogy.com

- 23. SINCE WC-1, WC-3, UR-1 & UR-2 ALL CONTAIN MODEL NUMBERS THAT INCLUDE AN AMERICAN STANDARD FIXTURE AND AN AMERICAN STANDARD FLUSH VALVE, WILL AMERICAN STANDARD BE ACCEPTED FOR ALL THE FLUSH VALVES?
 - a. **American Standard is an acceptable manufacturer for flush valves.**
- 24. UR-2 FLUSH VALVE, SLOAN 180-ESS IS INCORRECT MODEL FOR AS SPEC'D URINAL.
 - a. **Flush Valve shall be Sloan 186-ESS or comparable. This will be corrected in a future addendum.**
- 25. L-2 LAV FIXTURE HAS THE KNEE SHROUD SPECIFIED TWICE BUT NO BOWL.
 - a. **Fixture is wall-hung, knee shroud is integral to associated "Murro" fixture. Use model 0955.001EC to match specified faucet.**
- 26. L-3 FAUCET TOTO TEL-151 COMES IN 3 DIFFERENT VERSIONS. PLEASE SPECIFY ONE.
 - a. **Use model TEL151-D10EM with TLM10 Mixing Valve. This will be clarified in future addendum.**
- 27. SH-1 SHOWER, AQUATIC 1363BFC2P IS A 2 PIECE FIBERGLASS SHOWER AND NOT 1 PIECE ACRYLIC AS PER DESCRIPTION.
 - a. **Yes, mention of 1-piece will be corrected in future addendum.**
- 28. SH-2 FLORESTONE 50 IS A MOP BASIN NOT A SHOWER BASE. THE SPEAKMAN UNIT LISTED IS A SHOWERHEAD AND HANDSHOWER SET WITH NO VALVE OR DIVERTER.
 - a. **SH-2 is for the wash down of equipment with the use of a shower and hand shower. Provide Speakman SM-12000 Echo Shower Valve and trim. Diverter is included in specified shower head. Valve will be included in schedule in future addendum.**
- 29. WE REQUEST THE USE OF GUARDIAN PRODUCTS FOR EEW-1 & EEW-2. THE GUARDIAN MIXING VALVE FOR THIS IS MADE FOR THEM BY LEONARD WHICH IS SPECIFIED ON THE TMV-1. WE ASK FOR LEONARD TO BE APPROVED FOR MIXING VALVE HERE AS WELL.

- a. **The use of Guardian products and associated Leonard valves is acceptable for EW-1 & 2.**
- 30. THE AMTROL EX SERIES EXPANSION TANK AS FOR ET-1 & ET-2 ARE FOR HYDRONIC SYSTEMS NOT POTABLE WATER.
 - a. **These changes will be picked up in a future addendum.**
 - i. **Use Amtrol ST-20VC in lieu of EX-60 model.**
 - ii. **Use Amtrol ST-12C in lieu of EX-15 model.**
- 31. THERE ARE NO SPECS FOR THE ST-1 AND ST-2 STORAGE TANK AS WELL AS THE AQUASTAT NEEDED TO RUN THE HWRP-1.
 - a. **Provide Rheem ST-320A vertical commercial storage tanks for ST-1 & 2. This will be included in the schedule on a future addendum.**
- 32. SINCE RHEEM & RUUD ARE THE SAME COMPANY AND A.O. SMITH & STATE ARE THE SAME COMPANY PLEASE ACCEPT STATE FOR ALL HEATERS AND STORAGE TANKS.
 - a. **State is acceptable for all water heaters and storage tanks.**
- 33. ON PLAN PAGE P51 DWG11, PLEASE SPECIFY DRAIN FD-2A.
 - a. **Drain is incorrectly labeled should read, "4"FD-2". Refer to plan for correct label; this will be corrected in a future addendum.**
- 34. WE THINK HB-1 IS INCORRECTLY SPECIFIED FOR IT'S INTENDED USE.
 - a. **Owner requested the use of a non-lockable hose bib in lieu of lockable hydrants for ease of access.**

Please see below for a list of questions regarding this project. *[This pertains to the following 10 questions]* Can you please address within addenda. These are based on Scope of work for general contractor (spec section 00 31 01)

- 35. Item #2 – the \$400k is to include the overhead, profit and fees as allowed by the change order procedure. I understand this to mean that the necessary markups have been accounted for within the \$400k. Therefore, in the event that there is unused allowance money at the end of the project this will be a simple change order deduct for the amount remaining. Please confirm.
 - a. **Correct**
- 36. Item #46 – is the contractor responsible for fire stop systems outside what is required within the plan documents?
 - a. **Fire stop systems will be required for this project based on code requirements. There is a 1 hour fire wall between the Parking and Service Center, between the Warehouse /Service Center and the two story Administration portion of the building. There is also a 1 hour wall between the Warehouse and Training Bays. The stairways and elevator shaft are also 1 hour enclosures. These areas will require fire stopping systems depending on the penetrations, etc. that are located during construction.**

37. Item #53 – the plan set that I was provided does not contain a site logistics plan that is reference here. Is one to be provided or possibly titled under a different heading?
- a. **Site Logistics plan is being issued in this Addendum 1 (attached)**
38. Item #59 – Would the contractor be required to go above and beyond what is required within the plans and specifications for installation procedures?
- a. **Item #59 requires the Contractor to assist with testing – provide lift access and water source, should the testing agency need it. Installation shall adhere to the plans and to the manufacturer’s recommendations.**
39. Item #71 – does the owner wish to utilize a specific service for the video taping of this work?
- a. **No; Contractor can perform the video recording, so long as it is clear and audible, and can be delivered to the Owner in digital format.**
40. Item #86 – this states that the contractor is responsible for weekly reports to be issued for the warranty duration. Is this necessary considering that most warranty items will be addressed within the first few months of the owner moving in? Can this be addressed on a monthly basis?
- a. **If issues arise weekly, provide weekly updates. Otherwise, can be monthly.**
41. Item #90 – can locations be provided for the poles so we can distribute to the installing trades as well as developing access road limits?
- a. **Locations can be coordinated between the Owner and the Contractor prior to the start of construction.**
42. Item #97 – is the contractor responsible for providing plastic covers for all pipe bollards even if not required within the plans or specifications?
- a. **No, there are no requirements for plastic covers over pipe bollards.**
43. Item #110 – access panel locations are not provided within the plans. Can locations be provided?
- a. **Access panels are referenced in the documents and are to be located as required to get to concealed devices (valves, controls, etc.). The locations and quantities will be determined by the construction process in the field.**
44. Item #112 – I cannot find within the plans the reference mockup panel details. Can one be provided?
- a. **A mockup panel will be required and will be detailed in a future addendum.**

The following two questions are similar with the same answer

45. Item #113. We assume the owner will accept Professional Liability and Errors and Omissions from the Design Engineers as long as the General Contractors and the owner are named as certificate and additional insured. Please note your acceptance

46. Please confirm that professional liability insurance is only required for the scopes of work that require design services for scopes provided by the general contractor. Within the scope of work for general contractor this requirement is limited; however in the supplementary conditions it does not limit this requirement. Additionally – will the professional liability certificate be acceptable for the party providing the design rather than by the general contractor.
- a. **The Contractor is required to provide the professional liability insurance specified in the Supplementary Conditions. This requirement is not satisfied by submitting insurance provided only by subcontractors. Owner will NOT accept the design team's E&O as coverage for the general contractor's design build scope.**
47. The plan documents provide furniture layouts; however, no specifications are provided. My assumption is that the owner will be hiring this directly after the general contractor's scope of work is complete. Please confirm what if any work associated with furniture is required within the general contractor's scope of work.
- a. **Sheets A618, 619 and 620 are the plans that indicate the furniture layouts used for this project. The furniture procurement will be done by the owner under a separate contract. Furniture shown on these plans are for reference only and are not in contract.**
48. I've leafed through this project and do not see any signage. Is it by owner? And if so, are they looking for competitive bids?
- a. **Signage is not part of the current bid. The owner will be putting that package together in the near future. There will be several exterior building signs, a monument sign, and interior signage. It will be competitively bid.**
49. I believe the spec on this project calls for the pipe bollard tops to be formed by hand. We manufacture a precast concrete bollard cap that makes this process faster, less expensive and completely uniform. The name of the product is TopGard. Will this product be allowed to be used for the top of the bollards?
- a. **Yes, TopGard Pipe Bollard Caps are an acceptable product to be used on top of the concrete filled pipe bollards.**
50. Specification Section 08 33 13; Please confirm quantity (1) rolling counter shutter as specified 08 33 13.
- a. **There is a rolling counter shutter located in the Ready Room 1622**
51. Specification Section 08 33 23; Confirm door type and size for #1627. Also, confirm custom color match required to match exactly the section 08 36 13 door.
- a. **Door 1627 is an overhead coiling door. The size is 8'-0" wide x 9'-0" high.**
52. Are there any fire rated doors as described on page 6?
- a. **Yes there are fire rated doors in all fire rated walls throughout the project.**

PRODUCT SUBSTITUTIONS

Specification Title: Phenolic Toilet Compartments Description: Solid Color Reinforced Composite Toilet Comp
Section: 102113.17 Page: 102113.17-2 Article/Paragraph: 2.01A

Proposed Substitution: Bobrick SierraSeries SCRC
Manufacturer: Bobrick Washroom Equip Address: 9601 Tujunga Ave, North Hollywood, CA 91605 Phone: 818-764-1000
Trade Name: SIERRASERIES SCRC 1090 Model No.: SCRC 1090 SERIES

Attached data includes product description, specifications, drawings, photographs, and performance and test data adequate for evaluation of the request; applicable portions of the data are clearly identified.

Attached data also includes a description of changes to the Contract Documents that the proposed substitution will require for its proper installation.

1.

- a. The Solid Color Reinforced Composite Toilet Compartment above is NOT an approved equal as submitted. The system does not come in the same color, visual and thickness as specified.**

Specification Title: Automatic Door Operators Description: Norton 6300
Section: 087113 Page: 5 Article/Paragraph: 2.1.1.1

Proposed Substitution: record - USA 8100
Manufacturer: record - USA Address: 4324 Phil Hargett Court, Monroe, NC 28110 Phone: 800.260.8833
Trade Name: record Automatic Doors, Inc. Model No.: 8100

Attached data includes product description, specifications, drawings, photographs, and performance and test data adequate for evaluation of the request; applicable portions of the data are clearly identified.

Attached data also includes a description of changes to the Contract Documents that the proposed substitution will require for its proper installation.

2.

- a. The proposed product is of similar quality and mechanically has similar functionality, however this product does not have the same warranty as the specified product, namely the warranty for the electrified version of this product is one (1) year not the five (5) years included in the specifications. Additionally, this product leaves a 1/4" gap between the door and the device allow room for an unauthorized dogging device such as a rope or wire. The condition that the device must fit flat against the door is noted in specification section 087100, 2.10, para 4. The Electrified product has not been presented with the specified Power over Ethernet (POE) capability specified in Section 281300. The proposed substitution will NOT be approved.**

Specification Title: Thermal Moisture Protection Description: Fluid-Applied Waterproofing
Section: 071400 Page: 2 Article/Paragraph: 2.01

Proposed Substitution: COLPHENE LM BARR, SOPRADRAIN
Manufacturer: SOPREMA Address: 310 Quadral Drive, Wadsworth Ohio Phone: 330-334-0066
Trade Name: COLPHENE LM BARR Model No.: W7527 (5 gal) W7528 (50 gal)

Attached data includes product description, specifications, drawings, photographs, and performance and test data adequate for evaluation of the request; applicable portions of the data are clearly identified.

Attached data also includes a description of changes to the Contract Documents that the proposed substitution will require for its proper installation.

3.

- a. **The Fluid-Applied Waterproofing above is an approved equal as submitted.**

Specification Title: Fiberglass Reinforced Paneling Description: Fiberglass Reinforced Plastic Panels
Section: 06 83 16 Page: 1 Article/Paragraph: 2.02A

Proposed Substitution: FRP-90 as an equal product
Manufacturer: Pawling Address: 32 Nelson Rd. Wassaic, NY Phone: (845)373-9300
Trade Name: FRP-90 FiberLite Paneling Model No.: FRP-90

Attached data includes product description, specifications, drawings, photographs, and performance and test data adequate for evaluation of the request; applicable portions of the data are clearly identified.

Attached data also includes a description of changes to the Contract Documents that the proposed substitution will require for its proper installation.

4.

- a. **The Fiberglass Reinforced Paneling above is an approved equal as submitted.**

Specification Title: Wall and Corner Guards Description: Corner Guards
Section: 10 26 01 Page: 1 Article/Paragraph: 2.02 A/2.02 B

Proposed Substitution: Intended to replace corners listed per article with Pawling's CG-52 & CG-12, respectively
Manufacturer: Pawling Corp. Address: 32 Nelson Rd. Wassaic, NY Phone: (845)373-9300
Trade Name: Stainless Corner Guard/Corner Guard Model No.: CG-52/CG-12

Attached data includes product description, specifications, drawings, photographs, and performance and test data adequate for evaluation of the request; applicable portions of the data are clearly identified.

Attached data also includes a description of changes to the Contract Documents that the proposed substitution will require for its proper installation.

5.

- a. **The Stainless Corner Guard/Corner Guard above is an approved equal as submitted.**

Specification Title: Entrance Floor Mats and Frames Description: Floor Mats
Section: 12 48 13 Page: 1 Article/Paragraph: 2.02A

Proposed Substitution: Intended to replace product listed with one similar in overall performance/ functionality.
Manufacturer: Pawling Corp. Address: 32 Nelson Rd. Wassaic, NY Phone: (845)373-9300
Trade Name: Rol-Dek Nylon Carpet Insert Model No.: EM-650

Attached data includes product description, specifications, drawings, photographs, and performance and test data adequate for evaluation of the request; applicable portions of the data are clearly identified.

Attached data also includes a description of changes to the Contract Documents that the proposed substitution will require for its proper installation.

6.

- a. **The Entrance Floor Mats and Frames above is NOT an approved equal as submitted. We have glue down walk off carpet tiles not an entrance mat system.**

Specification Title: Fluid applied vapor permeable air barriers Description: Fluid applied vapor permeable air barriers
Section: 072650 Page: 2 Article/Paragraph: 2.01

Proposed Substitution: Carlisle Coating & Waterproofing (CCW) Barritech VP fluid applied vapor permeable air barriers
Manufacturer: CCW Address: 900 Hensley Lane Wylie, TX Phone: 800-527-7092
Trade Name: Barritech VP Model No.: n/a

Attached data includes product description, specifications, drawings, photographs, and performance and test data adequate for evaluation of the request; applicable portions of the data are clearly identified.

Attached data also includes a description of changes to the Contract Documents that the proposed substitution will require for its proper installation.

7.

- a. The Carlisle Coating & Waterproofing (CCW) Barritech VP is acceptable but you also need to provide all of the other items needed to provide an entire weatherproofing system, similar to what is identified in the specs.**

Specification Title: Fluid applied vapor permeable air barriers Description: Fluid applied vapor permeable air barriers
Section: 072650 Page: 2 Article/Paragraph: 2.01

Proposed Substitution: Carlisle Coating & Waterproofing (CCW) Barrithane VP fluid applied vapor permeable air barriers
Manufacturer: CCW Address: 900 Hensley Lane Wylie, TX Phone: 800-527-7092
Trade Name: Barrithane VP Model No.: n/a

Attached data includes product description, specifications, drawings, photographs, and performance and test data adequate for evaluation of the request; applicable portions of the data are clearly identified.

Attached data also includes a description of changes to the Contract Documents that the proposed substitution will require for its proper installation.

8.

- a. The Carlisle Coating & Waterproofing (CCW) Barrithane VP is acceptable but you also need to provide all of the other items needed to provide an entire weatherproofing system, similar to what is identified in the specs.**

Specification Title: Metal Composite Mat. Wall Panels Description: Brow Support Framing
Section: 074213.23 Page: 1-10 Article/Paragraph: Part 1, 1.01 B: Brow Support Framing

Proposed Substitution: SFS Attachment System
Manufacturer: SFS Group USA Address: 1045 Spring Street Phone: 844-683-5673
Trade Name: Thermally Broken Cladding Support System Model No.: N1 ACM

Attached data includes product description, specifications, drawings, photographs, and performance and test data adequate for evaluation of the request; applicable portions of the data are clearly identified.

Attached data also includes a description of changes to the Contract Documents that the proposed substitution will require for its proper installation.

9.

- a. The Metal Composite Mat. Wall Panels – Brow Support Framing above is an approved equal as submitted with the exception that the system depth must match the depth of the specified Knightwall system.**

Specification Title: Rainscreen Attachment System Description: _____
Section: 074342 Page: 1-7 Article/Paragraph: _____

Proposed Substitution: SFS Nvelope N1
Manufacturer: SFS Group USA Address: 1045 Spring Street Phone: 844-683-5673
Trade Name: Thermally Broken Cladding Support System Model No.: N1 ACM

Attached data includes product description, specifications, drawings, photographs, and performance and test data adequate for evaluation of the request; applicable portions of the data are clearly identified.

Attached data also includes a description of changes to the Contract Documents that the proposed substitution will require for its proper installation.

10.

- a. The Rain Screen Attachment System above is an approved equal as submitted with the exception that the system depth must match the depth of the specified Knightwall system.**

Specification Title: Glazed Aluminum Curtain Walls Description: YKK YCW 752
Section: 084413 Page: 3 Article/Paragraph: 2.01B

Proposed Substitution: Manko Windows 200xpt
Manufacturer: Manko Windows Address: 800 Hayes Dr. Phone: 785-776-9643
Trade Name: Manhattan, KS 66502 Model No.: _____

Attached data includes product description, specifications, drawings, photographs, and performance and test data adequate for evaluation of the request; applicable portions of the data are clearly identified.

Attached data also includes a description of changes to the Contract Documents that the proposed substitution will require for its proper installation.

11.

- a. Manko is an acceptable manufacturer for the window systems. The system must meet the design criteria outlined in the construction documents. Including depths of system and overall design intent.**

Specification Title: Phenolic Toilet Partitions Description: Base Bid Manufacturer
Section: 10 21 13.17 Page: 2 Article/Paragraph: 2.01

Proposed Substitution: Hiny Hiders Solid Plastic
Manufacturer: Scranton Products Address: scrantonproducts.com Phone: 570-348-0997
Trade Name: Scranton Hiny Hiders Solid Plastic Model No.: N/A

Attached data includes product description, specifications, drawings, photographs, and performance and test data adequate for evaluation of the request; applicable portions of the data are clearly identified.

Attached data also includes a description of changes to the Contract Documents that the proposed substitution will require for its proper installation.

12.

- a. The Phenolic Toilet Compartment above is NOT an approved equal as submitted. The system does not come in the same color, visual and thickness as specified.**

Specification Title: Phenolic Benches Description: Stationary-Type Pedestal Bench
Section: 105130 Page: 607-608 Article/Paragraph: Part 2/ 2.01, A

Proposed Substitution: Pedestal Bench
Manufacturer: Spectrum Address: 885 Midway Ave, Ontario Phone: 855-444-0588
Trade Name: MAB 5V8 Model No.: Pedestal Bench

Attached data includes product description, specifications, drawings, photographs, and performance and test data adequate for evaluation of the request; applicable portions of the data are clearly identified.

Attached data also includes a description of changes to the Contract Documents that the proposed substitution will require for its proper installation.

13.

- a. The Spectrum Pedestal Bench above is an approved equal as submitted.**

Specification Title: Coiling Counter Doors Description: LISTED MANUFACTURER
Section: Cornell/Cookson Page: 1 Article/Paragraph: 2.01 A

Proposed Substitution: Cornell/Cookson
Manufacturer: Cornell/Cookson Address: 24 Elmwood Ave, 18707 Phone: 800-233-8366
Trade Name: Cornell/Cookson Model No.: ESC-10

Attached data includes product description, specifications, drawings, photographs, and performance and test data adequate for evaluation of the request; applicable portions of the data are clearly identified.

Attached data also includes a description of changes to the Contract Documents that the proposed substitution will require for its proper installation.

14.

- a. The Coiling Counter Door above is an approved equal as submitted.**

15. Will Dimensional Metals, Inc. be an acceptable manufacturer for metal copings. DMI's Coping meets the same performance testing, criteria, design, and cost as the Coping listed in section 077100. I have attached the documents with DMI's information.

- a. Dimensional Metals, Inc is an acceptable manufacturer for copings. Specifications/Design and detailing to match construction documents.**

16. Will an EST3 Emergency Communications Platform Fire alarm system (submitted) be allowed as a substitution to the currently specified system?

- a. It appears to meet the specifications. We take no exception**

17. Please see the attachment for our formal request for product substitution consideration on the St. Charles County Ambulance District HQ project. We are submitting AIR-SHIELD™ LMP Liquid Membrane Vapor Permeable Air Barrier, AIR-SHIELD™ Self-Adhering Air/Vapor and Liquid Moisture Barrier, BEM One-Component Building Envelope Membrane, MEL-PRIME™ Solvent-Based VOC Adhesive, and MEL-PRIME™ W/B Water-Based Adhesive for your consideration.

- a. Air-Shield LMP is acceptable – weather permitting. LM (specified) to be used during freezing temperatures.**
- b. Air-Shield Self-Adhering Air/Vapor and Liquid Moisture Barrier is acceptable and is similar to the product specified under detailing strips.**
- c. BEM One-Component Building Envelope Membrane is acceptable.**

- d. **Mel-Prime solvent based VOC Adhesive is already specified.**
 - e. **Mel-Prime WB is already specified.**
18. Will Daybrite/ Signify and Hubbell/Columbia Lighting substitutions be acceptable lighting packages?
- a. **Daybrite/Signify and Hubbell/Columbia lighting packages are acceptable in principle. Specific requirements and options will be reviewed during shop drawing review after bidding. Manufacturer is responsible for meeting design intent and Architect/Engineers approval.**
19. Attached, please find substitution requests/product data for the following manufacturers we represent for St. Charles Co. Ambulance District New Headquarters: (Let me know if you have any questions or need any additional information)
- i. Stanley Hinges (part of dormakaba)
 - ii. BEST Locks (part of dormakaba)
 - iii. Precision Exit Devices (part of dormakaba)
 - iv. DORMA Closers (part of dormakaba)
 - v. National Guard Products (Arch. Seals and Continuous Hinges)
 - vi. ASI Storage Solutions (part of ASI Group)
- a. **Stanley Hinges will be acceptable substitution as long as they meet the same criteria outlined in the specification.**
 - b. **NGP Continuous Hinges will be acceptable substitution as long as they meet the same criteria outlined in the specification.**
 - c. **Best 9K Series Cylindrical Locksets and Best 9KW Series Electrified Cylindrical Locksets will NOT be acceptable substitution. The proposed product is not of similar quality or functionality as the specified Power over Ethernet (POE) electrified locksets, the proposed electrified locksets do not meet the specification requirements indicated in Section 28 13 00. Additionally the product warranty restricts the finish warranty to three (3) years.**
 - d. **Exit Devices and Electrified Exit Devices: The proposed product is of similar quality and mechanically has similar functionality, however this product does not have the same warranty as the specified product, namely the warranty for the electrified version of this product is one (1) year not the five (5) years included in the specifications. Additionally, this product leaves a ¼” gap between the door and the device allow room for an unauthorized dogging device such as a rope or wire. The condition that the device must fit flat against the door is noted in specification section 087100, 2.10, para 4. The Electrified product has not been presented with the specified Power over Ethernet (POE) capability specified in Section 281300. The proposed substitution offers neither an improvement on the specified product or a cost advantage and therefore will NOT be approved.**

- e. **Closers:** The proposed product is not of similar quality but does offer similar functionality. The proposed product has only been independently cycle tested to ten million cycles and specification section 087100, 2.11 Section A, Para 3 indicates that the closer will have surpasses fifteen million cycles. The proposed substitution offers neither an improvement on the specified product or a cost advantage and therefore will NOT be approved.
- f. **Seals/Gasketing/Thresholds:** will be acceptable substitution as long as they meet the same criteria outlined in the specification.

PROJECT MANUAL (Specifications):

Sections 00 31 00 Available Project Information

1. Replace this spec section in its entirety. We have added the Site Logistics Plan to the list of information. (attached)

Sections 00 31 00.4 Site Logistics Plan

2. Add this to the specifications manual. This document becomes part of the specifications as available project information. (attached)

Sections 00 41 01 Supplemental Bid Information

3. Replace this spec section in its entirety. (attached)

Section 07 54 23 – Thermoplastic-Polyolefin Roofing (TPO);

4. Change line 2.02.B.3 to read: Insulation Cover Board: High Density Polyisocyanurate: Cold Adhesive - Attached.

CONSTRUCTION DRAWINGS:

CIVIL DRAWINGS

Sheet C5.0

1. Revise grading at bioretention basin D and removed equalizer pipe
2. Sheet C6.0
3. Remove sidewalk at bioretention basin D and man gate
4. Add 6 visitor parking signs
5. Add screened trash enclosure and concrete pad
6. Replace manual slide gates with dual leaf swing gates
7. Add 10 concrete wheel stops for parking on south side of building

Sheet C10.1

1. Revise section A-A at bioretention basin D (remove equalizer pipe) SHEET C02:

LANDSCAPE DRAWINGS

Not Issued in this Addendum

ARCHITECTURAL DRAWINGS:

SHEET A111

1. L01 – 096 Admin Dependent (Plan):

- REVISED – Dimension of stud wall / MCM depth at Training 4 entry to 3'

SHEET A121

1. L02 – 096 – Admin. (Plan):

- REVISED – Roof slope above Training 4
- ADD – Detail at col. 4/B
- REMOVED – Misc. owner supplied equipment
- REVISED – Roof drains above Entry, Boardroom, and Vestibule.

SHEET A133

1. L01 – 096 – Service – Equipment Plan

- REVISED – Lift equipment locations
- REVISED – Equipment Schedule
- ADD – CS/CI Service Bay Lift Schedule and notes.

SHEET A141

1. L01 – RCP – Admin

- ADD – Control joints at Board Room ceiling soffit
- REVISED – Key note 16

SHEET A143

1. L01 RCP – Service Center

- REVISED – Ceiling heights – Transfer Dayroom 1651 and Gear 1650
- ADD – ACT1 ceiling Ready Room 1622
- ADD – Bulkhead between FAB Bay 1625 and Parts / Storage 1626

SHEET A144

1. L02 RCP - Admin

- ADD – Key note 18
- REVISE – Elec. 2008 ceiling type to ACT1

SHEET A145 – RCP Operations

1. Detail 1 L02 RCP - Operations

- REVISED – Area of RCP plan
- DELETE - Detail B6

SHEET A151

1. Roof Plan - Admin

- REVISED – Roof above Training 4, Boardroom, and Vestibule

SHEET A201 – Exterior Elevations

1. A1 – South Elevation

- ADD – Misc. building / wall sections

2. B1 – North Elevation

- ADD – note

3. C1 – East Elevation

- ADD – note

4. D1 – West Elevation

- ADD – note
- ADD – slope adjacent to Loading Dock

SHEET A202 – Enlarged Exterior Elevations

1. **A1 – North Elevation – Admin.**
 - ADD – Wall section
 - Revise – Horizontal reveal at Administration
 - Revise – MCM panel depth at Training 4 entry
2. **B1 – East Elevation – Admin.**
 - REVISE – Misc. wall section tag
 - ADD – Wall sections
3. **D1 – West Elevation – Admin.**
 - ADD – MCM panel reveal

SHEET A210 – Building Sections

1. **A1 – Building Section – Admin. & Service Center**
 - REVISE – Ceiling Transfer Dayroom – 10'-0"
2. **B1 – Building Section Admin & Service Center**
 - REVISE – Wall at Parts / Storage & Overhead Fluids

SHEET A211 – Building Sections

1. **C1 - Building Section – Parking**
 - REVISE – Truss depth
2. **D1 – Building Section – Parking**
 - ADD – Chain link fencing

SHEET A301 – Wall Sections

1. **A1 – Section – North Wall -1**
 - REVISE – Foundation detail
2. **A2 – Section – West Wall**
 - REVISE – Foundation detail
3. **A3 – Section – North Wall -2**
 - REVISE – Foundation detail

SHEET A302 – Wall Sections

1. **A1 – Section – North Wall – 4**
 - REVISE – Wall section
2. **A3 – Section – South Wall -2**
 - REVISE – Reveal locations
3. **A4 – Section – North wall – 6**
 - REVISE – Reveal locations / dimensions
4. **A6 – Section – North Wall – 8**
 - REVISE – Reveal location

SHEET A303 – Wall Sections

1. **A1 – Section – West Wall – 1**
 - REVISE – MCM panel overhang
2. **A4 – Section – East Wall – 3**
 - REVISE – MCM panel overhang

SHEET A304 – Wall Sections

1. **A1 – Section Thru Vestibule**
 - REVISE – MCM overhang / wall panel at exterior wall
2. **A3 – Wall Section**
 - REVISE – MCM panel reveal location
 - REVISE – footing detail

SHEET A305 – Wall Sections

1. **A3 – Typ. Section Thru Tilt -Up**

- REVISE – Wall base at footing
- 2. **A4 – Section @ North Tilt -Up Wall**
 - REVISE – Wall base at footing
- 3. **A5 – Section Thru Wall @ Louver**
 - REVISE – Wall base at footing

SHEET A414 – Interior Elevations

1. **C2 – Clean Room – 1421 West Elev.**
 - REVISE – Elevation

SHEET A422 – Toilet / Locker Plans & Elev.

1. ADD – Notes:

SHEET A423 – Toilet / Locker Plans & Elev.

1. ADD – Notes:

SHEET A424 – Toilet / Locker Plans & Elev / Case Details

1. ADD – Notes:

SHEET A510 – Details

1. **C1 – Section Thru Break Room Sill**
 - REVISE – Detail
2. **A6 – Base Detail – Precast Conc.**
 - REVISE – Foundation attachment
3. **B6 – Precast @ Window Sill**
 - ADD – Galvanized bent plate
 - ADD – Sill pan w/ end dams
4. **C6 – MCM Eyebrow @ Precast Window Head**
 - ADD – Anchor
 - ADD – Metal trim
5. **D6 – Top of Precast Wall**
 - ADD – Steel anchor by pre-caster

SHEET A511 – Details

1. **C2-Section Thru Vestibule Wall**
 - REVISE – MCM panel reveal location

SHEET A512 – Details

1. **A5 – MCM Overhang @ Curtainwall**
 - REVISE – Location of wall to col. line
2. **C4 – Window Jamb @ Tilt-up**
 - DELETE – Wood blocking
3. **D4 – Window Sill @ Tilt-up**
 - DELETE – Wood blocking
4. **D6 – NCM Panel @ Window Head**
 - REVISE – Detail
5. **E4 – MCM Panel @ Tilt-up Wall**
 - REVISE – Detail

SHEET A514 – Details

1. **A1 – Storefront @ Interior Brick Corner Jamb**
 - REVISE – Detail
2. **A2 – Storefront @ MCM Corner Jamb**
 - REVISE – Detail
3. **A3 – Storefront @ MCM Jamb**
 - REVISE – Detail
4. **B4 – Canopy @ Curtainwall W/ MCM**

- REVISE – MCM panel reveal location

SHEET A516 – Details

1. **A1 – Window Sill @ Soffit**
 - ADD – Detail
2. **C6 – MCM Col @ Roof**
 - REVISE – MCM panel reveal location
3. **D1 – MCM Sill**
 - ADD – Detail

SHEET A517 – Details – REVISE Sheet

SHEET A518 – Details – ADD Sheet

STRUCTURAL DRAWINGS:

Sheet S103

- 4/S103 – Revised CMU partition base connection to post-installed.

Sheet S201C

- Clarified wall footing size along Line 30

Sheet S201D

- Clarified wall footing size along Line 30

Sheet S301

- 7/S301 – Clarified reference detail for construction joint
- 7/S301 – Clarified intent of base condition of tilt-up panel

Sheet S302

- 1/S302 – Filled in detail information
- 2/S302 – Filled in detail information

Sheet S402

- 7-8-9-10/S402 – Revised head and sill support member for windows
- 7/S402 – Clarified intent of precast spandrel support

Sheet S404

- 7-8/S404 – Revised head and sill support member for windows
- 7-8/S404 – Clarified intent of precast spandrel support

Sheet S406

- 3/S406 – Revised head and sill support member for windows

MECHANICAL DRAWINGS:

Drawing M601

1. REVISE rooftop unit schedule. See reissued sheet.

2. ADD keyed note #10 clarifying ductwork to be run in attic space. See reissued sheet.

PLUMBING DRAWINGS:

1. Drawing none for this addendum

ELECTRICAL DRAWINGS:

Drawing E001

1. Add symbol of a circle with a FS inside of it to be a Fire Alarm Speaker for the Voice Fire Alarm System

MEPFP SPECIFICATION CHANGES

Division 23

Section 23 31 13 – METAL DUCTS

ADD paragraph 2.3.B to read “Fibrous-Glass Liner: Comply with NFPA 90A or NFPA 90B and with NAIMA AH124.

Available Manufacturers:

CertainTeed Corp.; Insulation Group.
Johns Manville International, Inc.
Knauf Fiber Glass GmbH.
Owens Corning.

Materials: ASTM C 1071; surfaces exposed to airstream shall be coated to prevent erosion of glass fibers.

Thickness: 1 inch.

Thermal Conductivity (k-Value): 0.26 at 75 deg F mean temperature.

Fire-Hazard Classification: Maximum flame-spread index of 25 and smoke-developed index of 50 when tested according to ASTM E 84.

Liner Adhesive: Comply with NFPA 90A or NFPA 90B and with ASTM C 916.

Mechanical Fasteners: Galvanized steel suitable for adhesive attachment, mechanical attachment, or welding attachment to duct without damaging liner when applied as recommended by manufacturer and without causing leakage in duct.

Tensile Strength: Indefinitely sustain a 50-lb- tensile, dead-load test perpendicular to duct wall.

Fastener Pin Length: As required for thickness of insulation and without projecting more than 1/8 inch into airstream.

Adhesive for Attaching Mechanical Fasteners: Comply with fire-hazard classification of duct liner system.

REVISE paragraph 3.1.B.1.a to read “Rectangular return air ductwork from rooftop unit to end of duct run.”

Division 26

Section 26 32 13 – Engine Generators

A. Paragraph 2.1 A; add MTU and Generac as generator manufacturers.

END OF ADDENDUM

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**St. Charles County Ambulance District
New Headquarters
Pre-Bid Conference
General Contractor Bid Package
December 11, 2019 3:00 PM**

A. Introductions (persons in bold were in attendance)

1. St. Charles County Ambulance District (SCCAD) –
 - i. Chief of Operations – Taz Meyer
 - ii. **Assistant Chief – Kelly Cope**
 - iii. **Facilities Manager – Craig Meckfessel**
2. Navigate Building Solutions, LLC will be the Construction Manager
 - i. **Collette Koscielski – Project Manager**
3. Archimages, Inc. – Architect
 - i. **Roy Mangan – Associate**
 - ii. Joe Carey - Associate
4. Horner & Shifrin – MEPFP Consultants
 - i. Joe Buehler – Electrical Engineer
 - ii. Dave Lauver – Mechanical Engineer
 - iii. Greg Wanko – Plumbing Engineer
5. Civil Engineering Design Consultants (CEDC) – Civil Engineers
 - i. **Mike Vorwerk – Civil Engineer**
6. KPFF – Structural Engineer
 - i. Jason Richards
 - ii. Jeff Hines
7. Jacobi Engineering – Geotechnical Engineer

B. Project Overview:

1. Contract for all work to be awarded to a single General Contractor. This is not a multiple prime project.
2. Scope includes site development and building construction of a new 142,000 SF facility, one building. Typical construction; two story office building is steel structure, concrete slabs, precast / curtainwall / brick / metal panel exterior. Warehouse portion is tilt-up. Both are on shallow footings.
3. FULL SCOPE OF WORK ISSUED IN BID DOCUMENTS. BIDDER MUST REVIEW PRIOR TO BID.

C. Bidding Details:

1. **Proposals will be received in person at SCCAD Headquarters (4169 Old Mill Parkway) no later than 2:00 PM CST on January 9, 2020.** Note that parking around the SCCAD headquarters is tight. Plan accordingly to assure that your bid is delivered on time. Bids received after 2:00 PM January 9, 2020 will not be opened.
2. **Bids will be opened and public read aloud the same day, at a different location.** Bid opening will be held at 2:30 PM at the Community Council, located above the St. Charles Library on Spencer Road. The address is 427 Spencer Road, St. Peters, MO 63376. Park in the rear and enter the upper level to reach the Community Council meeting rooms. This is the same facility where the prebid was held, but bid opening will likely be in a different room.

3. Each bid must be accompanied by a cashier's check or certified check, or a Bid Bond executed by the Bidder and an approved surety company payable to the City, in an amount not less than five percent (5%) of the sum total of the base bid.
4. A Payment Bond and Performance Bond in the amount of one hundred (100%) percent of the bid amount will be required of the selected bidder.
5. All copies of the Bid and any other documents required to be submitted with the Bid shall be enclosed in a sealed envelope. The envelope shall be addressed to:

St. Charles County Ambulance District
Attention: Craig Meckfessel
4169 Old Mill Parkway
St. Peters, MO 63376

The envelope shall be identified with the project name (SCCAD Headquarters Bid) and the bidder's name and address. If the Bid is sent by mail, the sealed envelope shall be enclosed in a separate mailing envelope with the notation "SEALED BID ENCLOSED" on the face thereof.

Fax or email bids will NOT be accepted. Unsigned bids will NOT be accepted.

Bids submitted to NAVIGATE's office or to Archimages' office will NOT be accepted. No late bids will be accepted.

6. Bids will be held good and may not be withdrawn for a period of sixty (60) calendar days from receipt of bids. The District anticipates awarding a contract by the end of February, and expects the contractor to mobilize in early March.
7. Bid documents access will be provided by contacting the architect's office:

Nicole Luedloff, Archimages, Inc.
nluedloff@archimages-stl.com
314-965-7477

8. Project is tax exempt.
9. All bidders **MUST** submit bids using the Bid Form provided in the Project Documents. All areas of the Bid Proposal Form must be completed.
 - a. Bidders be advised that there is a lot of information being requested with your bid, so please have your administrative personnel prepare the Bid Proposal Form early in your bidding process so that you can focus on the bid form and alternates on bid day.
10. **All bidders MUST submit the following within 24 hours of the bid opening:**
 - b. Supplemental Bid Information Form indicating Cost Breakout, Unit Prices, Proposed Subcontractors in each category, and Apprenticeship Certification.
 - c. This can be submitted via email as indicated on the Supplemental Bid Information Form.
11. The project is prevailing wage. All wages paid for work performed on site must comply with the Missouri Division of Labor Standards Annual Wage Order Number 26 for St. Charles County, Missouri. Certified Payroll will be a requirement of this project.
12. The District requires that all contractors have an apprenticeship program. Bidders must submit certification 24 hours after bids are due, and subcontractors must submit certification prior to mobilization.

13. The City anticipates that Notice to Proceed will be issued in February 2020.
- 14. Bidders to propose a schedule duration for the project. Duration shall include consideration for weather. No extensions will be granted to the General Contractor for weather delays.**
15. Liquidated Damages do apply to this contract. Liquidated damages will be assigned based on the Master Project Schedule issued in the bid documents.
16. Bidders shall review the Scope of Work issued in the bid documents.
17. Bidders shall review the Supplementary Conditions in the bid documents, which identify what terms will be modified for the final AIA Contract between Owner and General Contractor. All bidders shall review these terms before bidding, to they are familiar with the potential contract they would be signing.
18. The Bidders will be responsible for building a project schedule that accommodates the Project Milestone dates in the Scope of Work, and the accepted project duration. This project schedule should be submitted to the Owner 21 calendar days after issuance of Notice to Proceed.
19. Successful contractor will be required to submit daily reports, within 24 hours of each work day.
20. Bidders shall request clarification or interpretation of the Bidding Documents by making a written request to the Architect. Such requests must be received by the Architect, Archimages, Inc., at least six (6) days prior to the date of for receipt of Bids to best ensure that the request can be addressed and issued to potential Bidders prior to the receipt of Bids. Requests to be directed to:
 1. Roy Mangan, Archimages, Inc. at (314) 965-7445 or rmangan@archimages-stl.com
 2. Joe Carey, Archimages, Inc. at (314) 965-7445 or jcarey@archimages-stl.com
 3. The reply will be in the form of an Addendum, a copy of which will be forwarded to known recipients.
21. A copy of these minutes and the Pre-Bid Sign-in sheet will be issued via Bid Addendum.
22. The geotechnical report prepared by Jacobi Engineering is included in the bidding documents. Bidders should review this document.
23. The Owner will furnish the building permit and the fire district permit. The building permit includes the water and sewer tap fees from the City of St. Peters. This contractor and/or its subcontractors shall be responsible for obtaining all other trade and utility permits.
24. SCCAD shall provide all quality control testing and this contractor will be responsible for coordinating with a testing agency to perform onsite materials testing and special inspections required by the bid documents.
25. This Contractor will be responsible for all SWPPP inspections, weekly and/or after a rain events. These will be submitted to the Construction Manager weekly and within 24 hrs of each weather event. This contractor is also responsible for installation, maintenance, and removal of the silt fence and project work boundary flagging during the course of construction.
26. This Contractor shall be responsible for the cost of utilities during the course of construction i.e.: gas, electric, sewer, water.
27. Builder's Risk shall be carried by the Contractor. Deductibles shall be paid by the Contractor.
28. This contractor will be responsible for all project as-builts including full survey for utility department closeout.

29. Soil remediation shall be included in the base bid.

D. Review list of Bid Alternates

1. The design team briefly reviewed the list of 12 alternates. These can be found on the Bid Form and in the Alternates specification section. There will be a 13th alternate added via addendum, for a deduct to eliminate the rear bioretention basin.

E. Questions

1. Will the fees and transformer cost from Ameren be the General Contractor's responsibility? Yes.
2. Are CAD files available? Yes, email Archimages to get a release form, and they can subsequently give you the CAD files.
3. Is a Revit model available? Email your request to Archimages, and they will investigate if a Revit model is available for distribution.
4. Where is the information about the vehicle lifts? It will be issued in Addendum #1.
5. The scope of work states that the general contractor is responsible for temp heating and cooling. When can the permanent equipment be turned on? Contractor shall use temporary units until it is necessary to turn on permanent units for testing and balancing. In no case shall these be run before all sanding and dusty work is complete.
6. Can the temporary heating and cooling use the permanent ductwork, if the Contractor cleans the ductwork at the end of the project? Please submit this question to the design team via email, for further consideration by the mechanical engineer and the Owner. It will then be answered via addendum.

**St. Charles County Ambulance District
New Headquarters
Pre-Bid Meeting for General Contractor Bid Package
December 11, 2019 3:00 PM**

Sign In

	<u>Name</u>	<u>Company</u>	<u>Email Address</u>
1.	Omer Bowman	KC the Best Roofing	omerkcbn@hotmail.com
2.	Justin Smith	Tony Prince Co	jb.smith@princefloors.com
3.	Rob Taylor	Landesign	robert@lan-design.net robert@landesign.org
4.	S. Brooks	Meridian	sbrooks@meridianwaste.com
5.	Stephanie Jeffries	PARIC	SJeffries@PARIC.COM
6.	Jim Biehle	Kay Bee Electric	JGB@KayBeeElectric.com
7.	Greg Kutz	SM Wilson	greg.kutze@smwilson.com
8.	Travis Buchari	Bergman-Boscon P/Hg	travis@brglumhig biz
9.	Brian Guccione	Wright Const Services	bidse@wrightconstruct.com
10.	POL PANDAY	VISION ELECTRIC	polpanday@visionmo.com
11.	MICHAEL ROBINSON	POWER UP ELECTRIC	mrobinson@theupcompanies.com
12.	JAKE LEIFELD	ALL AMERICAN PAINTING	JLEIFELD@ALLAMERKANPTG.COM
13.	DON KLINGLER	ICS	DKLINGLER@ICS-STL.COM
14.	Joe Carter	Master	jc.carter@master.com

**St. Charles County Ambulance District
New Headquarters
Pre-Bid Meeting for General Contractor Bid Package
December 11, 2019 3:00 PM**

Sign In

<u>Name</u>	<u>Company</u>	<u>Email Address</u>
15. Tommy Wieschhaus	Johnson Controls	thomas.scott.wieschhaus@jci.com
16. Hannah Elliott	O'Fallon Overhead Doors	Hannah@ofallonoverhead.com
17. Mike Miederhoff	O'Fallon Overhead Doors	Michael@ofallonoverheaddoors.com
18. Josh Prater	Landesign	jprater@lan-design.net
19. Larry Juern	Demi'en Construction	LJuern@demienconstruction.com
20. Peter Moller	L. KEELEY CONSTRUCTION	PMOLLER@LKEELEY.COM
21. Evan Chiluz	PARIC	EMCHILUZ@PARIC.COM
22. Larry Rothweil	RHMC	lrothweil@rhmc.org
23. Dennis Dyes	K&S Associates	estimating@ksgcstl.com
24. Drew Harris	PPG Paints	drewharris@ppg.com
25. Jeff Kolkmeier	Hankins Const. Co.	office@webuildSTL.com
26. Bill Zahner	WIEGMANN ASSOC.	bzahner@waidb.com
27. Eric Hogan	TerraScape	eric@terrascapestl.com
28. Alan Bergfeld	Holland	abergfeld@hollandcs.com

**St. Charles County Ambulance District
New Headquarters
Pre-Bid Meeting for General Contractor Bid Package
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Sign In

<u>Name</u>	<u>Company</u>	<u>Email Address</u>
29. Troy Marshall	Facilitec	tmarshall@Facilitec-546.com
30. Tim Chapman	Green Trac	greentrac@live.com
31. Jason Prewitt	CONTEGRA	jprewitt@contegracc.com
32. Adam Muehle	MPC Enterprises	amuehle@mpcent.com
33. Don Biegler	MPC Enterprises	dbiegler@mpcent.com
34. Jillian Griggs	Duggan Contracting	jgriggs@duggancontracting.com
35. Kent Kampwerth	River City Const.	kkampwerth@rccllc.com
36. ZACH HECK	KOZENT WAGNER	ZHECK@KOZENYWAGNER.COM
37. Joel Vidlak	Holland	jvidlak@hollandes.com
38. Ryan Pendleton	Semke	semkegrading@hotmail.com
39. Jim Schoolcraft	Penn Services	jschoolcraft@pennservicesllc.com
40. ANDY DAUB	KOLB GRADING	a.daub@kolbgrading.com
41. Blake Boggs	KCI	bboggs@Kciconstruction.com
42. MARK EMMS	WATKINS ROOFING	MarkE@watkinsroofing.net

21

St. Charles County Ambulance District
New Headquarters
Pre-Bid Meeting for General Contractor Bid Package
December 11, 2019 3:00 PM

Sign In

<u>Name</u>	<u>Company</u>	<u>Email Address</u>
15. Nicole Humphrey	Color-Art	n Humphrey@color-art.com
16. Steve Roofa	TRI-Co Inc	trico@tricostl.com
17. Leo Tevlin	STLOUISLED	leotevlin@STLOUISLED.com
18. Justin Dulle	Poettker	jdulle@poettkerconstruction
19. Robert Schumann	National Electrical	roberts@ne-stl.com
20. Dom Green	Herc Rentals	dom.green@hercrentals.com
21. MARK AUBUCHON	Royal Paper	MARKAUBUCHON@Royalab.com
22. Row Glaser	HOLLAND	RGLASER@HOLLANDCS.com
23.		
24.		
25.		
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27.		
28.		

**St. Charles County Ambulance District
New Headquarters
Pre-Bid Meeting for General Contractor Bid Package
December 11, 2019 3:00 PM**

Sign In

	<u>Name</u>	<u>Company</u>	<u>Email Address</u>
1.	STEVE LAYNE	L.C.S.	SLAYNE@LCS.CONSTRUCT.COM
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3.			
4.			
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SECTION 00 31 00
AVAILABLE PROJECT INFORMATION

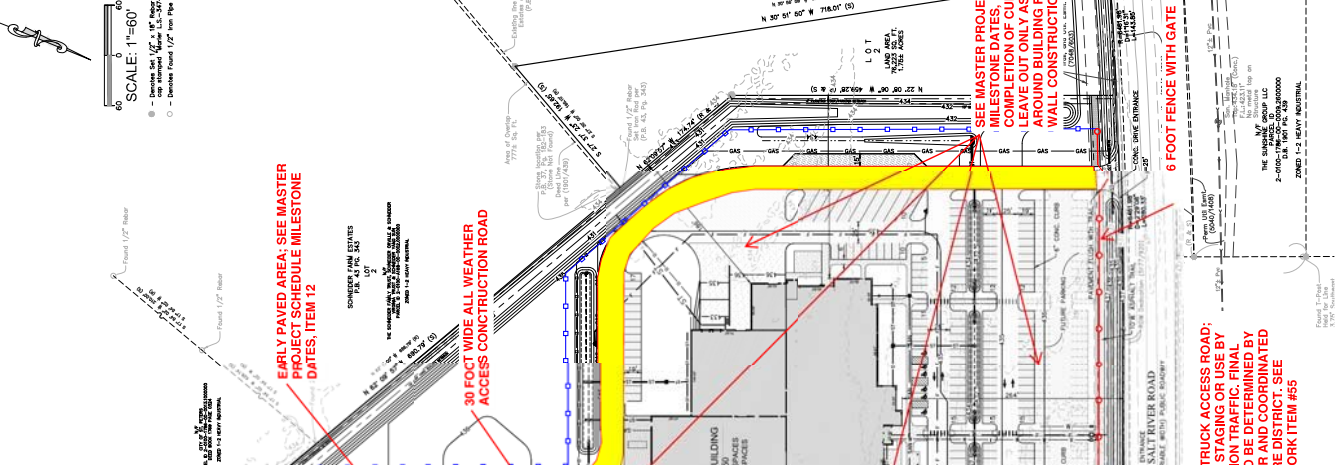
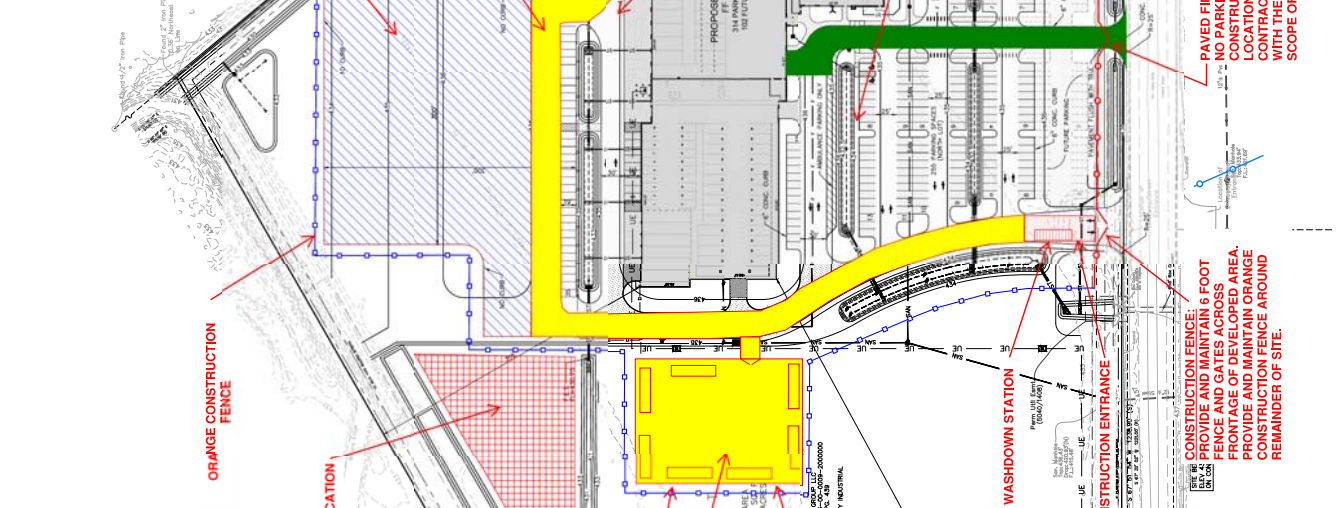
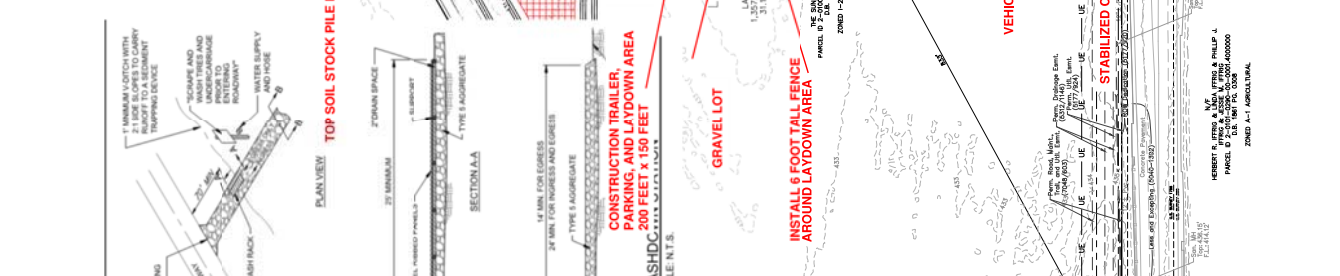
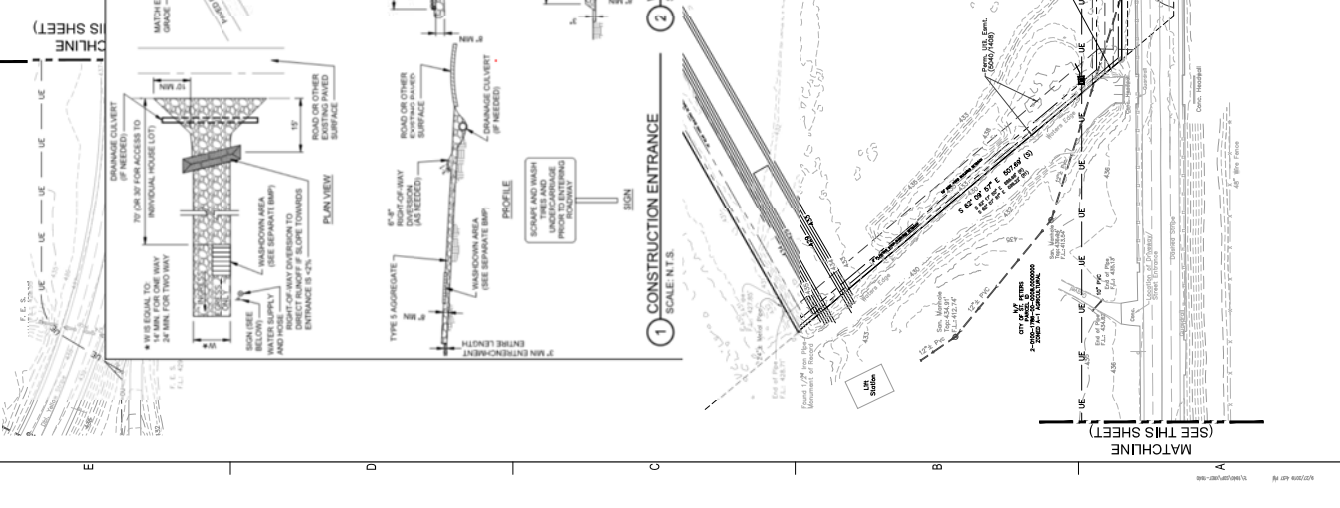
PART 1 GENERAL

1.01 EXISTING CONDITIONS

- A. Certain information relating to existing surface and subsurface conditions and structures is available to bidders but will not be part of Contract Documents, as follows:
- B. Geotechnical Report: Entitled Exploration of Subsurface Conditions and Foundation Recommendations, dated April 2019.
 - 1. Copy is attached at the end of this spec. section.
 - 2. This report identifies properties of below grade conditions and offers recommendations for the design of foundations, prepared primarily for the use of Architect.
 - 3. The recommendations described shall not be construed as a requirement of this Contract, unless specifically referenced in Contract Documents.
 - 4. This report, by its nature, cannot reveal all conditions that exist on the site. Should subsurface conditions be found to vary substantially from this report, changes in the design and construction of foundations will be made, with resulting credits or expenditures to the Contract Sum accruing to Owner.
- C. Prevailing Wage Determination and Report Forms:
 - 1. The Prevailing Wage Determination issued by the State of Missouri, County of St. Charles, effective at the time of the performance of the work will be made part of the Contract Documents. Annual Wage Order Number 26 (in effect as of March 8, 2019) is attached for reference only.
 - 2. It is the responsibility of all General Contract bidders and all subcontractors to comply with the minimum wage rates as set forth in the Prevailing Wage Determination, including any subsequent Prevailing Wage Determinations that are issued when the current Prevailing Wage that are issued when the current Prevailing Wage Determination expires. Refer to A101 for further information.
 - 3. The Contractor and each of his subcontractors shall keep an accurate record showing the names and occupation of all laborers, workers, and mechanics employed by them, in connection with the Construction of the PROJECT, and showing also the actual hourly wages paid to each person. This record shall be open at all reasonable hours to inspection by the OWNER, its officers and agents, and to the Director of Labor and his deputies and agents. These records of Employees and Wages Paid are required by the Prevailing Wage Determination. The Architect will require that an affidavit be submitted stating compliance with the Prevailing Wage with each application for payment. In addition, weekly Certified Payroll submittal is required. Payment will not be made unless all certified payrolls are provided for the time covered in the pay application.
 - 4. All Contractor's bonds will include such provisions as will guarantee the faithful performance of the prevailing hourly wage clause as provided by Contract.
 - 5. Additional information and forms can be found on the Missouri Department of Labor website, <http://www.labor.mo.gov/DLS/>.
- D. Site Logistics Plan:
 - 1. Copy is attached at the end of this spec. section.

END OF SECTION

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SUPPLEMENTAL BID INFORMATION – REVISED BY ADDM 1

**ATTN: Craig Meckfessel
St. Charles County Ambulance District
4169 Old Mill Parkway
St. Peters, MO 63376**

**Proposal for:
St. Charles County Ambulance District – SCCAD Headquarters
2000 Salt River Road, St. Peters, MO 63376**

This form shall be completed and submitted in its entirety **no later than 24 hours following the receipt of the Bids** to the Owner. Bidder must submit Supplemental Bid Information via email as follows:

Re: Supplemental Bid Information for SCCAD Headquarters
Attn: Craig Meckfessel, St. Charles County Ambulance District; cmeckfessel@sccad.com
CC: Collette Koscielski, Navigate Building Solutions; collette@navigatebuildingsolutions.com

Name of Project: St. Charles County Ambulance District – SCCAD Headquarters

Date: _____

Proposal from: _____

COST BREAKOUT for SCCAD Headquarters, Base Bid:

Bidder shall provide the breakout of costs for the following divisions of work are **included** in the Base Bid.

Divisions 1-14 Scopes of Work

_____ DOLLARS (\$_____).

Division 21 Scope of Work (Fire Suppression)

_____ DOLLARS (\$_____).

Division 22 Scope of Work (Plumbing)

_____ DOLLARS (\$_____).

Division 23, 25 Scope of Work (HVAC, Temperature Controls, Testing & Balancing)

_____ DOLLARS (\$_____).

Division 26, 27, 28 Scope of Work (Electrical, Low Voltage)

_____ DOLLARS (\$_____).

Divisions 31, 32, 33 Scopes of Work (Sitework and Site Utilities)

_____ DOLLARS (\$_____).

UNIT PRICES for SCCAD Headquarters:

Unit Price Description	Unit	\$/Unit
Unit Price No. 1: Removal and haul-off of rippable rock.	Per CY	
Unit Price No. 2: Removal and haul-off of non-rippable rock.	Per CY	
Unit Price No. 3: Removal and haul-off of trench rock.	Per CY	
Unit Price No. 4: Removal and disposal of existing buried concrete man-made structures.	Per CY	
Unit Price No. 5: Removal, haul-off and disposal of unsuitable soils and placement of lean concrete for soil remediation.	Per CY	
Unit Price No. 6: Removal, haul-off and disposal of unsuitable soils and import & compaction of 1" granular material for soil remediation per recommendations in Geotechnical Report.	Per CY	
Unit Price No. 7: Removal, haul-off and disposal of unsuitable soils and import & compaction of suitable soils per recommendations in Geotechnical Report.	Per CY	
Unit Price No. 8: Lime treatment of on-site unsatisfactory soils, tilled into a depth directed by Geotechnical Engineer. Include tilling, spreading and recompaction of treated soil. See section 6.1 in the Geotechnical Report for percentages of Code-L or quicklime additive.	Per CY	
Unit Price No. 9: Moisture conditioning existing subgrade material by aerating soil with a disk and allowing to air dry. Include spreading and recompaction.	Per CY	
Unit Price No. 10: Load and haul-off of surplus soils.	Per CY	

Unit Price No. 11: Import, placement and compaction of suitable soil.	Per CY	
Unit Price No. 12: 1" clean rock placement and compaction	Per CY	
Unit Price No. 13: 1" minus rock placement and compaction	Per CY	
Unit Price No. 14: 2" clean rock placement and compaction	Per CY	
Unit Price No. 15: 2" minus rock placement and compaction	Per CY	
Unit Price No. 16: Topsoil place and final grade	Per CY	

LIST OF PROPOSED SUBCONTRACTORS for SCCAD Headquarters:

Please list the two subcontractors in each category that the referenced Bidder is considering for subcontract award for materials, services, supplies, specialty contractors, etc. in each category below. Also indicate if your firm has previously worked with the listed Subcontractor. Where not applicable for this Bid Package, please indicate "N/A."

If you do not plan to use subcontractors, indicate below and return this form with your bid.

Scope of Work	Proposed Subcontractors	Have You Worked with Previously?
Earthwork / Clearing	1. 2.	
Site Utilities	1. 2.	
Asphalt	1. 2.	
Landscaping/ Irrigation	1. 2.	
Site Concrete	1.	

	2.	
Footings/ Foundations	1. 2.	
Concrete Flatwork	1. 2.	
Tilt-Up Concrete	1. 2.	
Masonry	1. 2.	
Steel Fabricator	1. 2.	
Steel Erector	1. 2.	
Rough Carpentry	1. 2.	
Finish Carpentry	1. 2.	
Millwork/Casework	1. 2.	
Air Barrier	1. 2.	
Roofing	1. 2.	
Sheet Metal	1. 2.	

Caulking	1. 2.	
Overhead Doors	1. 2.	
Doors, Frames, Hardware	1. 2.	
Glass & Glazing	1. 2.	
Framing / Drywall	1. 2.	
Ceilings	1. 2.	
Flooring	1. 2.	
Painting	1. 2.	
Operable Partitions	1. 2.	
Vehicle Lifts	1. 2.	
Elevator	1. 2.	
Plumbing	1. 2.	
Fire Protection	1.	

	2.	
HVAC	1. 2.	
Electrical / Low Voltage	1. 2.	

APPRENTICESHIP CERTIFICATION – Complete separate form contained in Project Manual and submit with this Supplemental Bid Information.

Submitted By:

Bidder: _____

Address: _____

Business Telephone: _____ Fax: _____

Typed/Printed Name: _____

Authorized Signature: _____

Title: _____

(Seal, if bid by a Corporation)

Date: _____

END: SUPPLEMENTAL BID INFORMATION

SEE SHEET C5.1

SCALE: 1"=30'

PROPOSED BUILDING
FF 436.50
314 PARKING SPACES
102 FUTURE SPACES

LOT
2
LAND AREA
76,223 SQ. FT.
1.75± ACRES
N/F
THE SUNSHINE GROUP LLC
PARCEL ID
2-0100-1786-00-0009-2000000
D.B. 1901 PG. 439
ZONED I-2 HEAVY INDUSTRIAL

SALT RIVER ROAD
(VARIABLE WIDTH) PUBLIC ROADWAY

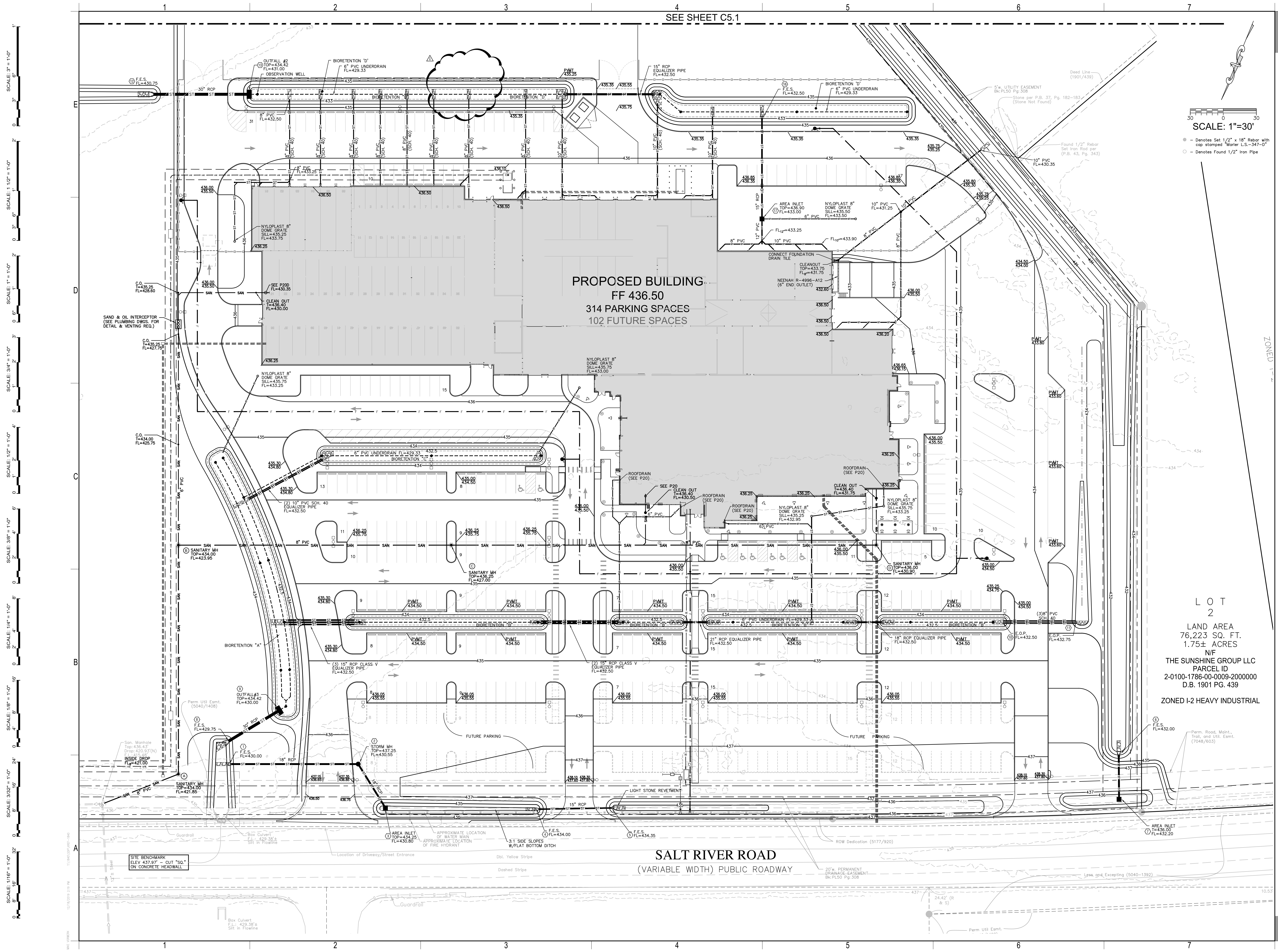
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architecture | interiors
Archimages, Inc. # 000650
MO Architectural Corporation
143 West Clinton Place St. Louis, Missouri 63122
www.archimages-sall.com p: (314) 965-7445 f: (314) 965-7477

Proposed:
CEDC
CIVIL ENGINEERING
DESIGN CONSULTANTS
16500 Sunset Office Drive
Suite 300
St. Louis, Missouri 63127
314.799.1400, 1404
www.cedc-ant.com
CEDC Project #1840

Proposed:
SCCAD HEADQUARTERS
2000 SALT RIVER ROAD
ST. PETERS, MISSOURI

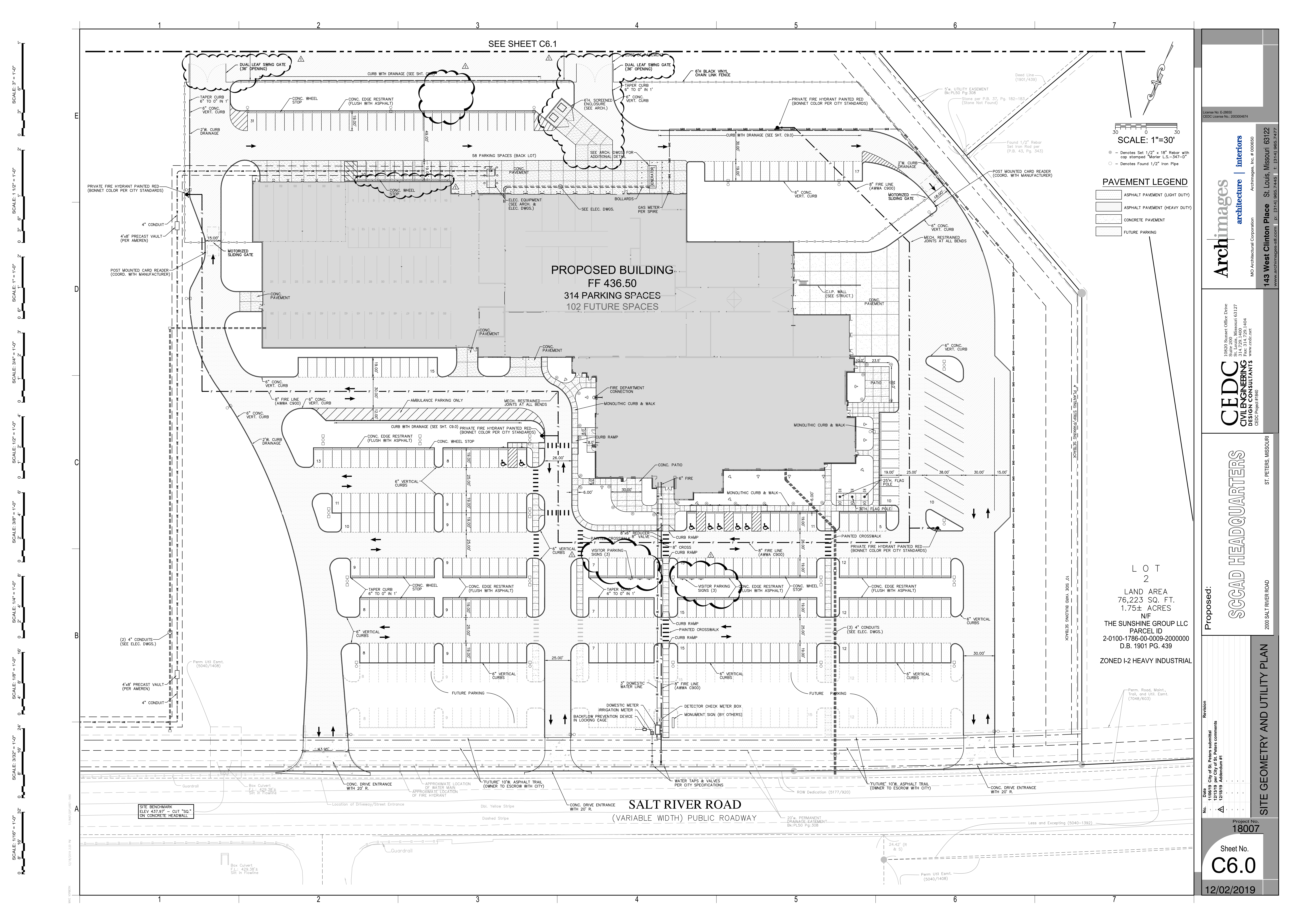
Revision
No. 10/06/19 City of St. Peters submitted
12/15/19 per City of St. Peters comments
12/16/19 Addendum #1

Project No.
18007
Sheet No.
C5.0
12/02/2019



Vertical scale bars on the left side of the sheet, indicating scales for different sections: SCALE: 1/8" = 1'-0", SCALE: 1/4" = 1'-0", SCALE: 1/2" = 1'-0", SCALE: 3/4" = 1'-0", SCALE: 1" = 1'-0", SCALE: 1 1/2" = 1'-0", SCALE: 3" = 1'-0".

Vertical text on the right side of the sheet, including project information, revision history, and sheet identification.



SEE SHEET C6.1

PROPOSED BUILDING
FF 436.50
314 PARKING SPACES
102 FUTURE SPACES

SCALE: 1"=30'

PAVEMENT LEGEND

[Pattern]	ASPHALT PAVEMENT (LIGHT DUTY)
[Pattern]	ASPHALT PAVEMENT (HEAVY DUTY)
[Pattern]	CONCRETE PAVEMENT
[Pattern]	FUTURE PARKING

- Denotes Set 1/2" x 18" Rebar with cap stamped "Marler L.S.-347-D"
- o - Denotes Found 1/2" Iron Pipe

LOT 2
LAND AREA
76,223 SQ. FT.
1.75± ACRES
 N/F
THE SUNSHINE GROUP LLC
PARCEL ID
2-0100-1786-00-0009-2000000
D.B. 1901 PG. 439
ZONED I-2 HEAVY INDUSTRIAL

SALT RIVER ROAD
 (VARIABLE WIDTH) PUBLIC ROADWAY

License No. E-38650
 CEDC License No. 2003004674

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 MO Architectural Corporation
 143 West Clinton Place St. Louis, Missouri 63122
 www.archimages-atl.com p. (314) 965-7445 f. (314) 965-7477

14500 Summit Office Drive
 Suite 200
 St. Louis, Missouri 63127
 314.799.1400, 1.404.404.1404
CEDC
 CIVIL ENGINEERING
 DESIGN CONSULTANTS
 CEDC Project #1840

Proposed:
SCCAD HEADQUARTERS
 ST. PETERS, MISSOURI
 2000 SALT RIVER ROAD

Site
 1/10/19 City of St. Peters submitted
 12/13/19 per City of St. Peters comments
 12/16/19 Addendum #1

Project No.
18007
 Sheet No.
C6.0
 12/02/2019

Vertical scale bars on the left side of the sheet, ranging from 1"=1'-0" to 1"=16'-0".

Horizontal grid lines labeled A through E across the top and bottom of the sheet.

SITE BENCHMARK
 ELEV 437.97' = CUT "SQ" ON CONCRETE HEADWALL

Farm Util. Esmt. (5040/1408)

Farm Util. Esmt. (5040/1408)

Box Culvert E.L. 429.38' Sit in Flowline

Box Culvert E.L. 429.38' Sit in Flowline

CONC. DRIVE ENTRANCE WITH 20' R.

CONC. DRIVE ENTRANCE WITH 20' R.

APPROXIMATE LOCATION OF WATER MAIN APPROXIMATE LOCATION OF FIRE HYDRANT

APPROXIMATE LOCATION OF WATER MAIN APPROXIMATE LOCATION OF FIRE HYDRANT

FUTURE 10'W. ASPHALT TRAIL (OWNER TO ESCROW WITH CITY)

FUTURE 10'W. ASPHALT TRAIL (OWNER TO ESCROW WITH CITY)

CONC. DRIVE ENTRANCE WITH 20' R.

CONC. DRIVE ENTRANCE WITH 20' R.

WATER TAPS & VALVES PER CITY SPECIFICATIONS

WATER TAPS & VALVES PER CITY SPECIFICATIONS

ROW Dedication (5177/920)

ROW Dedication (5177/920)

FUTURE 10'W. ASPHALT TRAIL (OWNER TO ESCROW WITH CITY)

FUTURE 10'W. ASPHALT TRAIL (OWNER TO ESCROW WITH CITY)

CONC. DRIVE ENTRANCE WITH 20' R.

CONC. DRIVE ENTRANCE WITH 20' R.

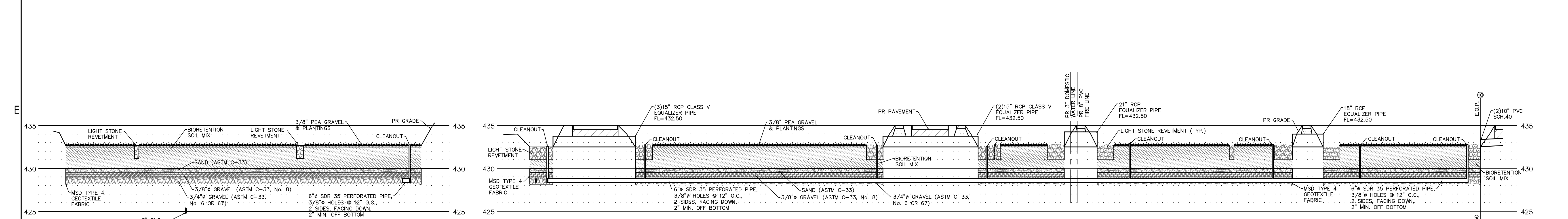
Less and Excepting (5040-1392)

Less and Excepting (5040-1392)

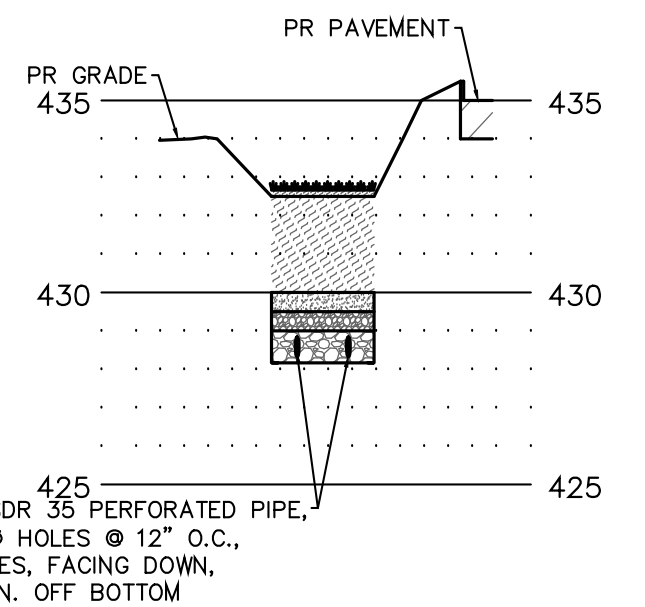
Perm. Road, Maint., Trail, and Util. Esmt. (7045/603)

Perm. Road, Maint., Trail, and Util. Esmt. (7045/603)

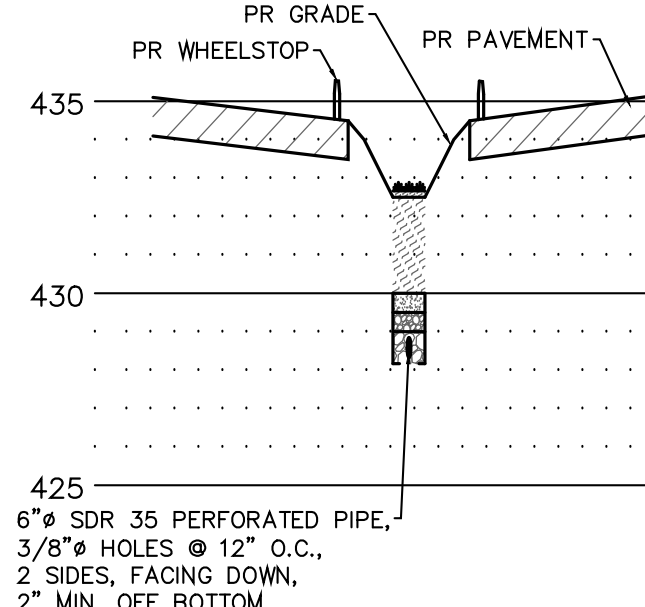
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SCALE: 3/4" = 1'-0"
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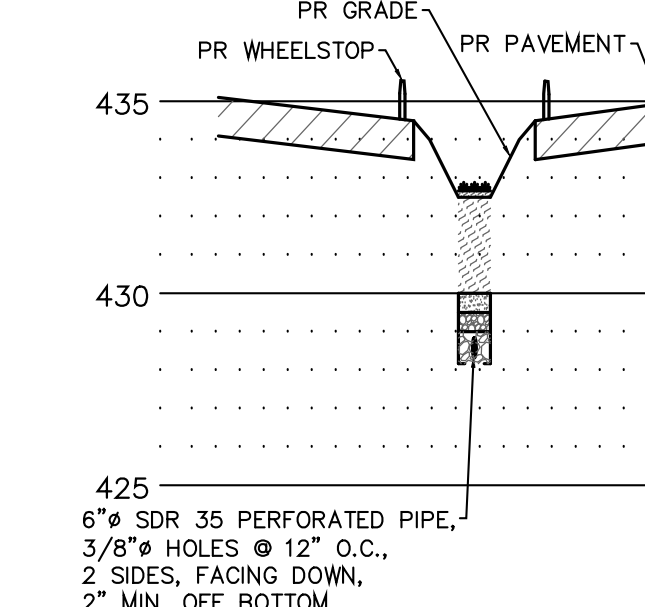
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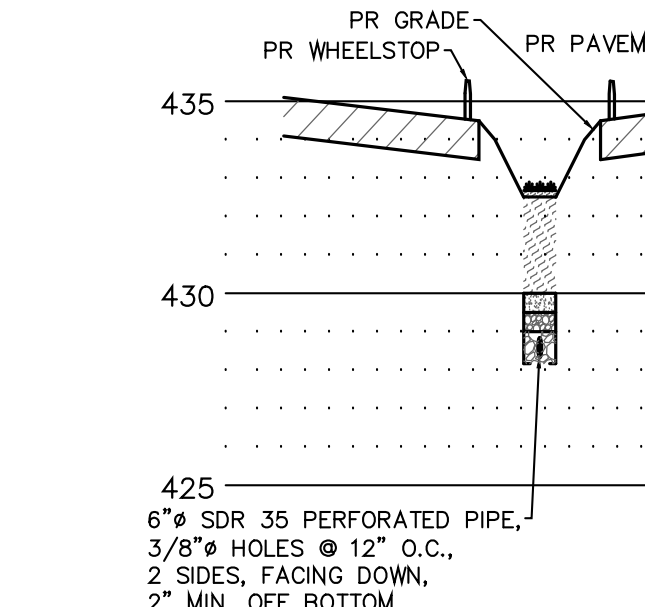
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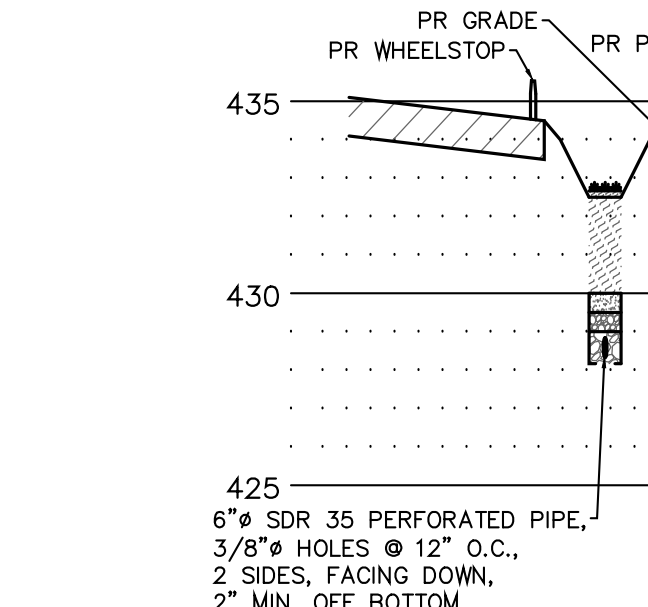
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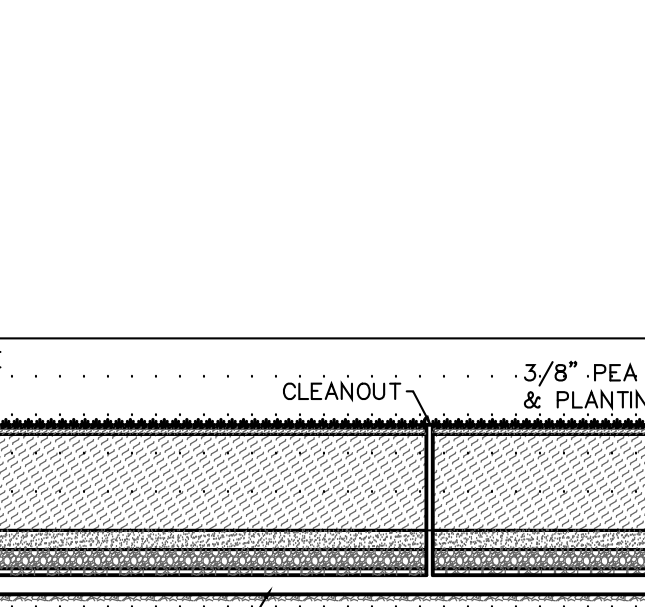
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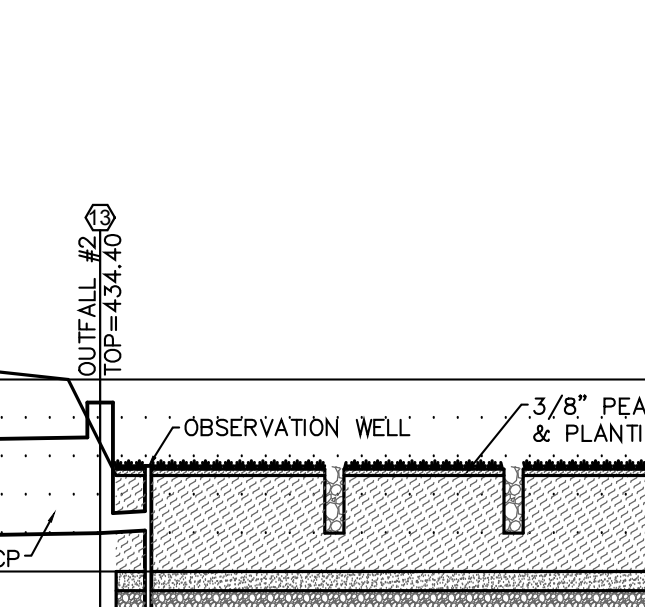
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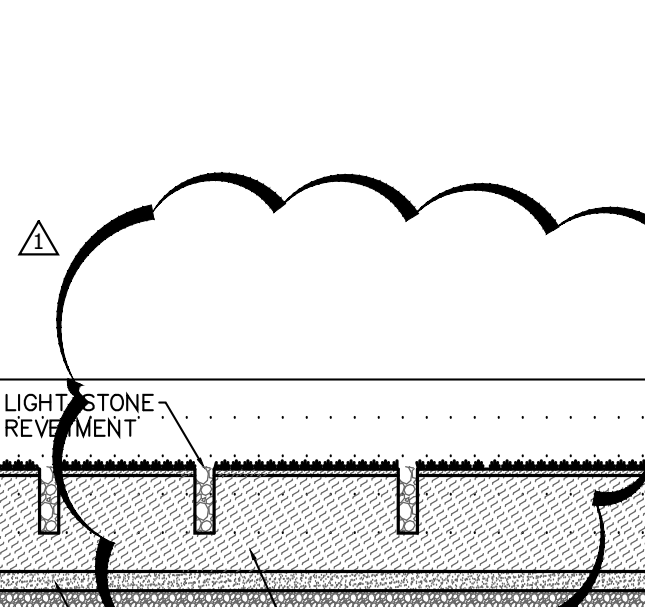
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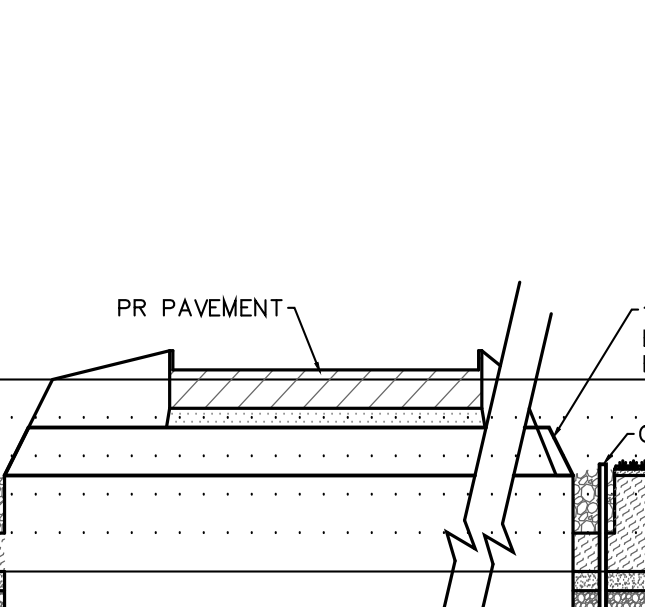
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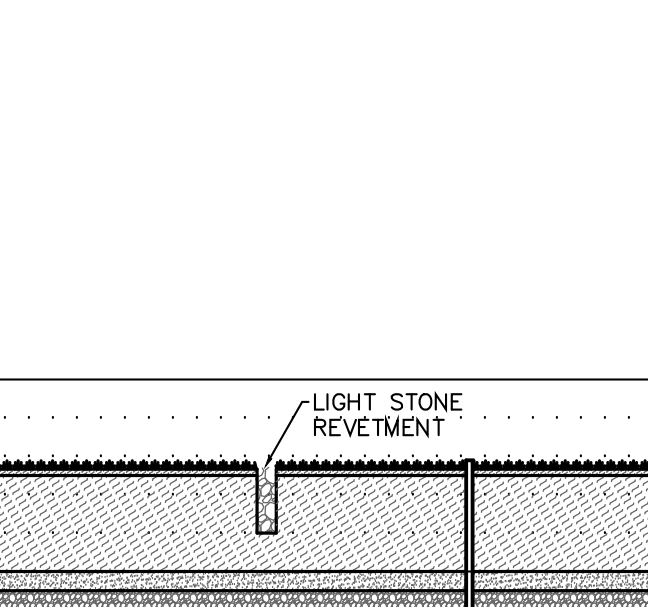
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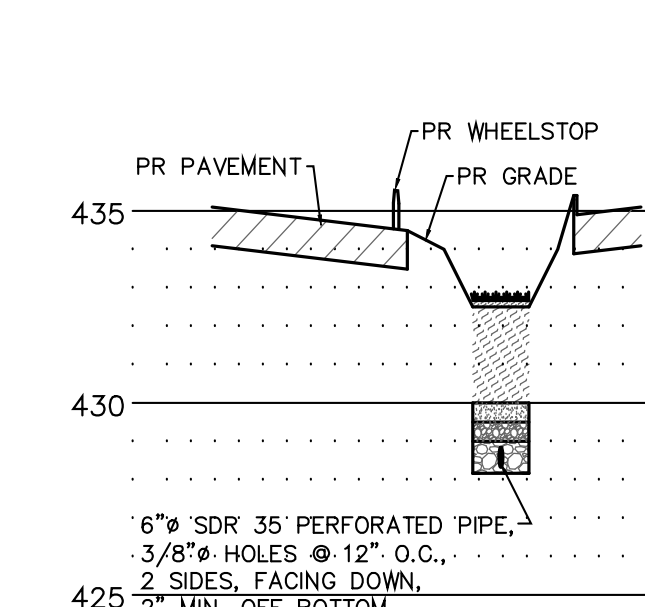
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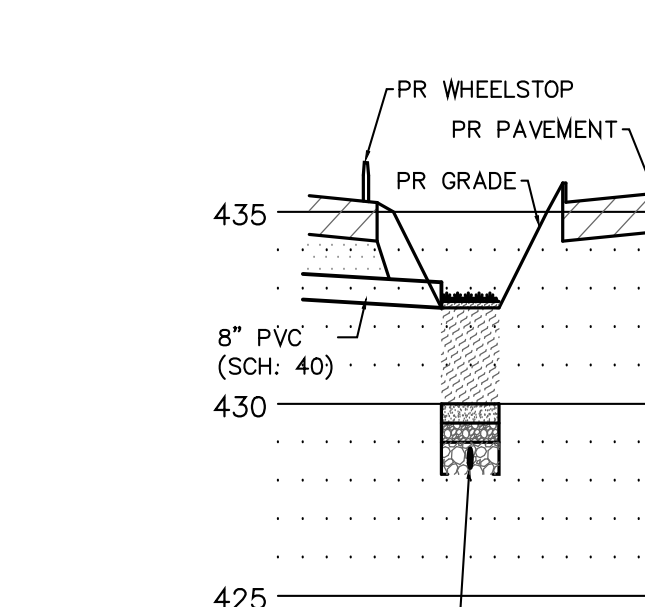
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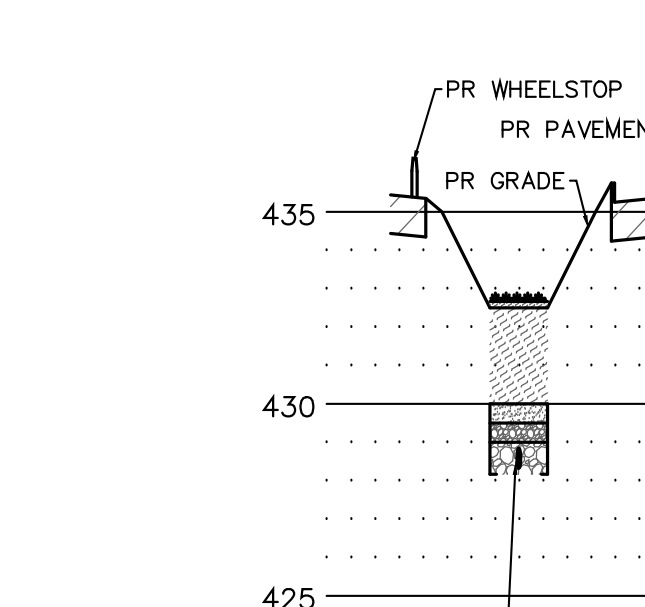
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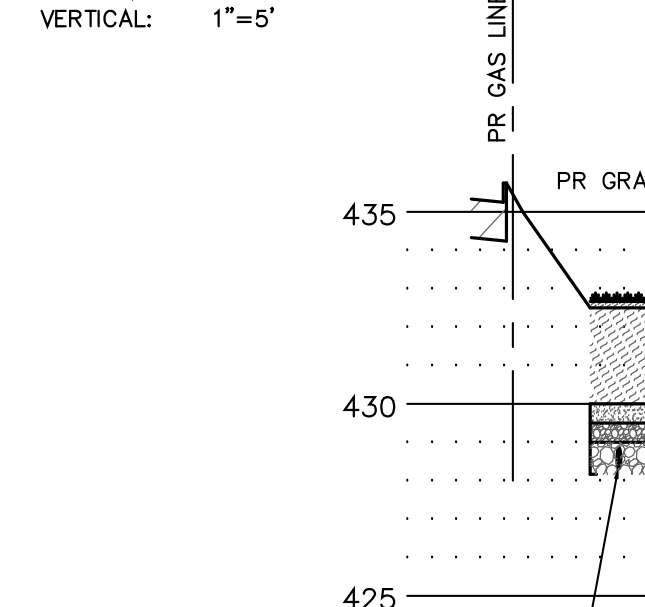
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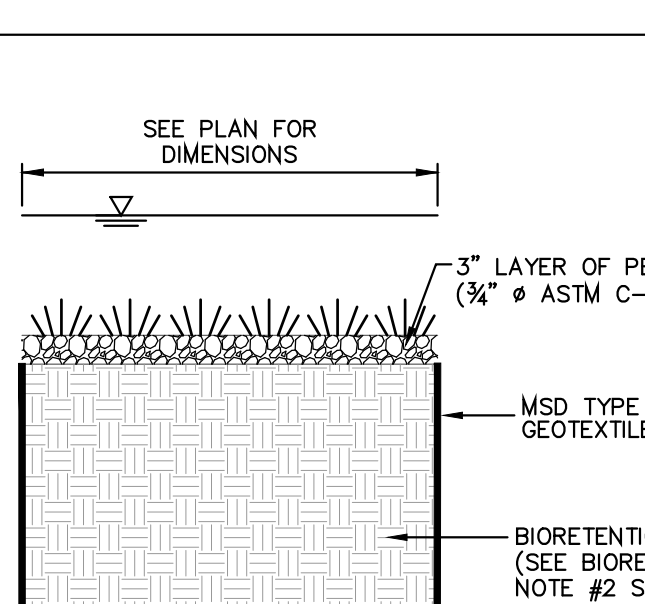
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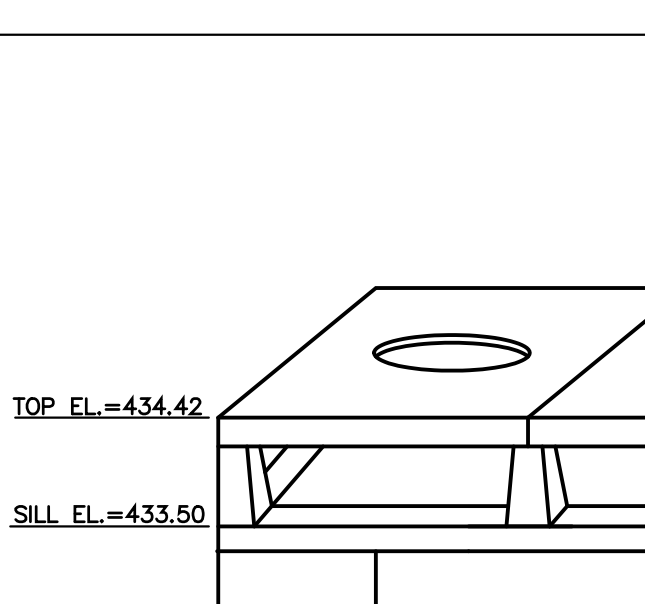
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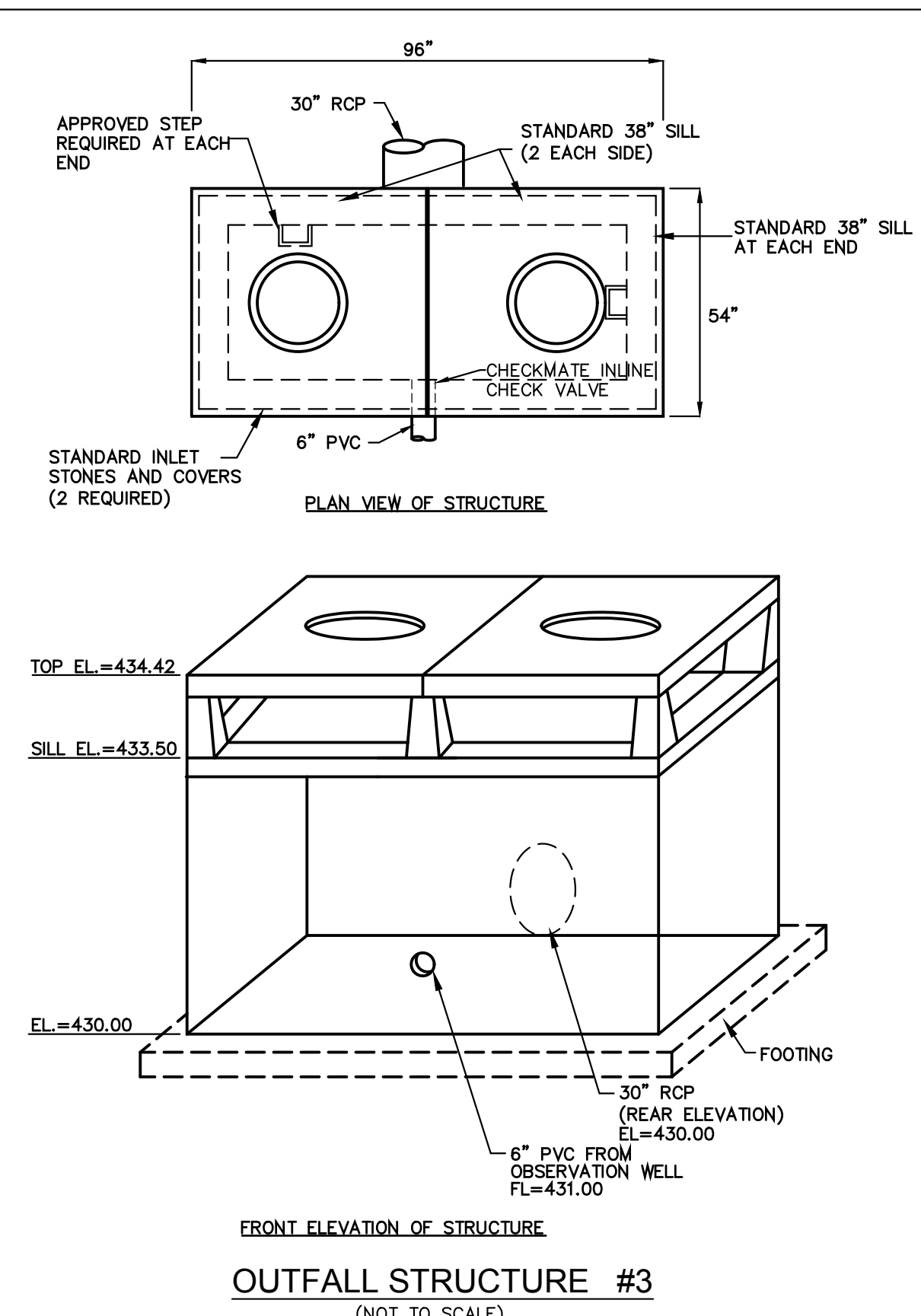
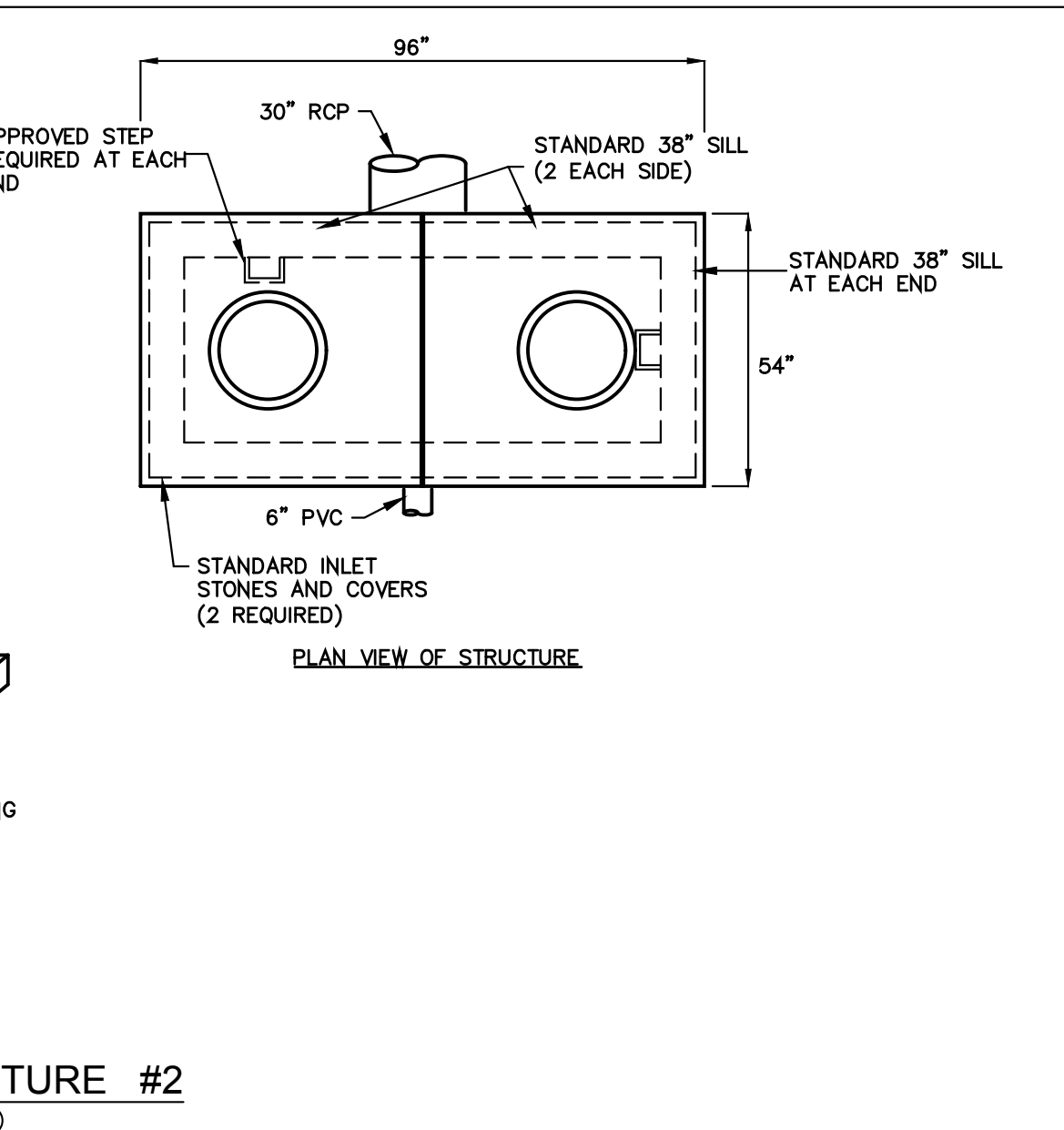
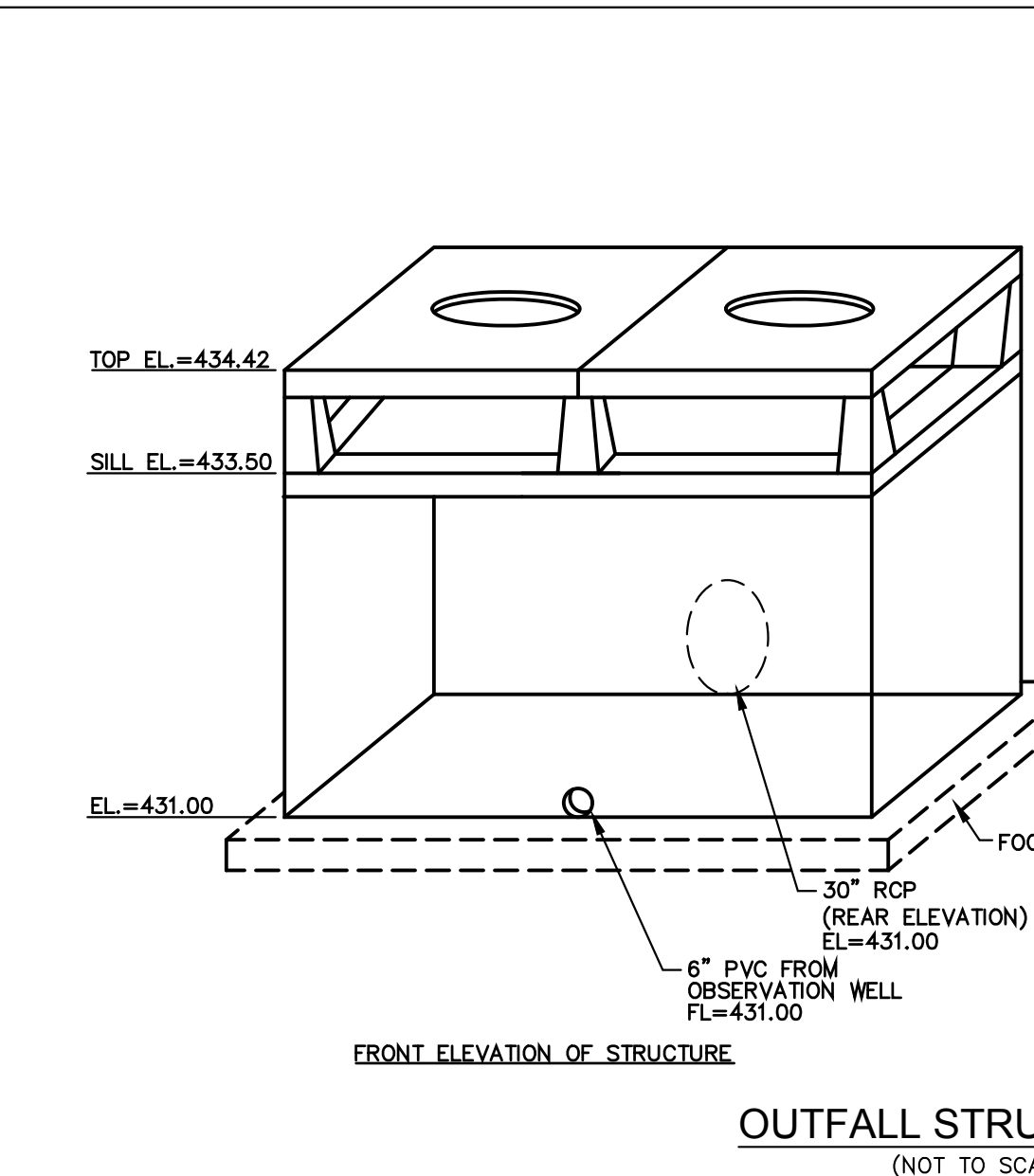
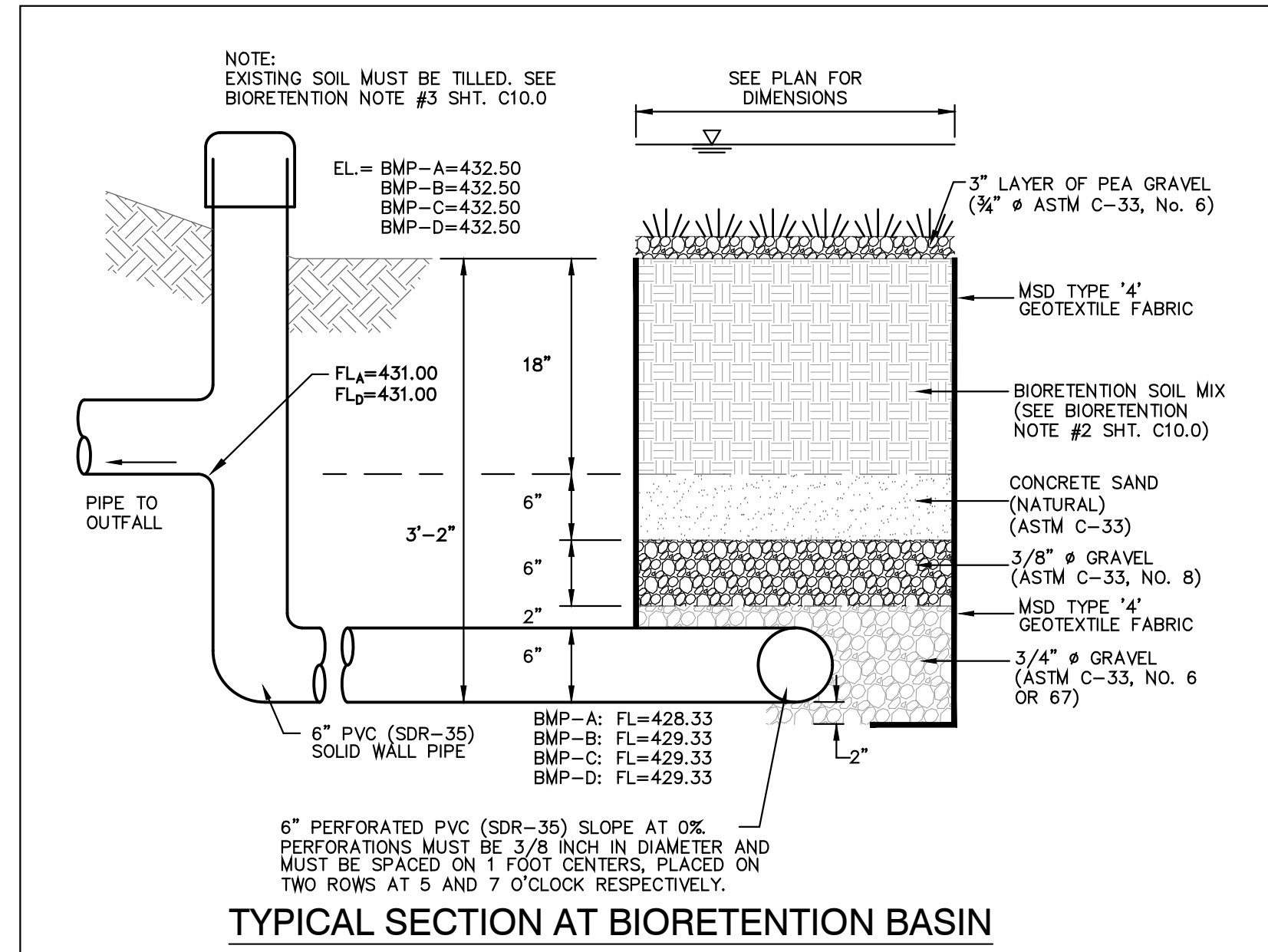
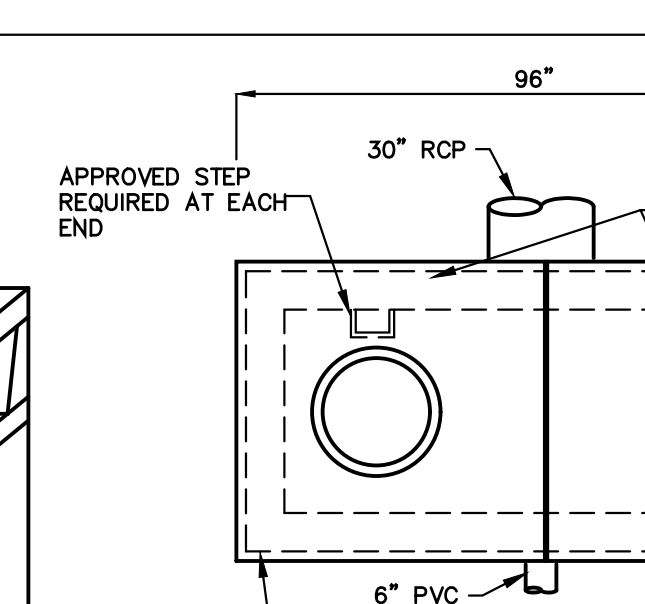
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HORIZONTAL: 1"=30'
VERTICAL: 1"=5'



BIORETENTION BASIN "D" SECTION D-D
SCALE:
HORIZONTAL: 1"=30'
VERTICAL: 1"=5'



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143 West Clinton Place St. Louis, Missouri 63122

CEDC CIVIL ENGINEERING DESIGN CONSULTANTS
1800 Summit Office Drive
St. Louis, Missouri 63127

Proposed: SCCAD HEADQUARTERS
2000 SALT RIVER ROAD
ST. PETERS, MISSOURI

Revision
No. 1
Date: 11/06/19
City of St. Peters submittal
12/13/19 per City of St. Peters comments
12/18/19 Addendum #1
Project No. 18007
Sheet No. C10.1
12/02/2019

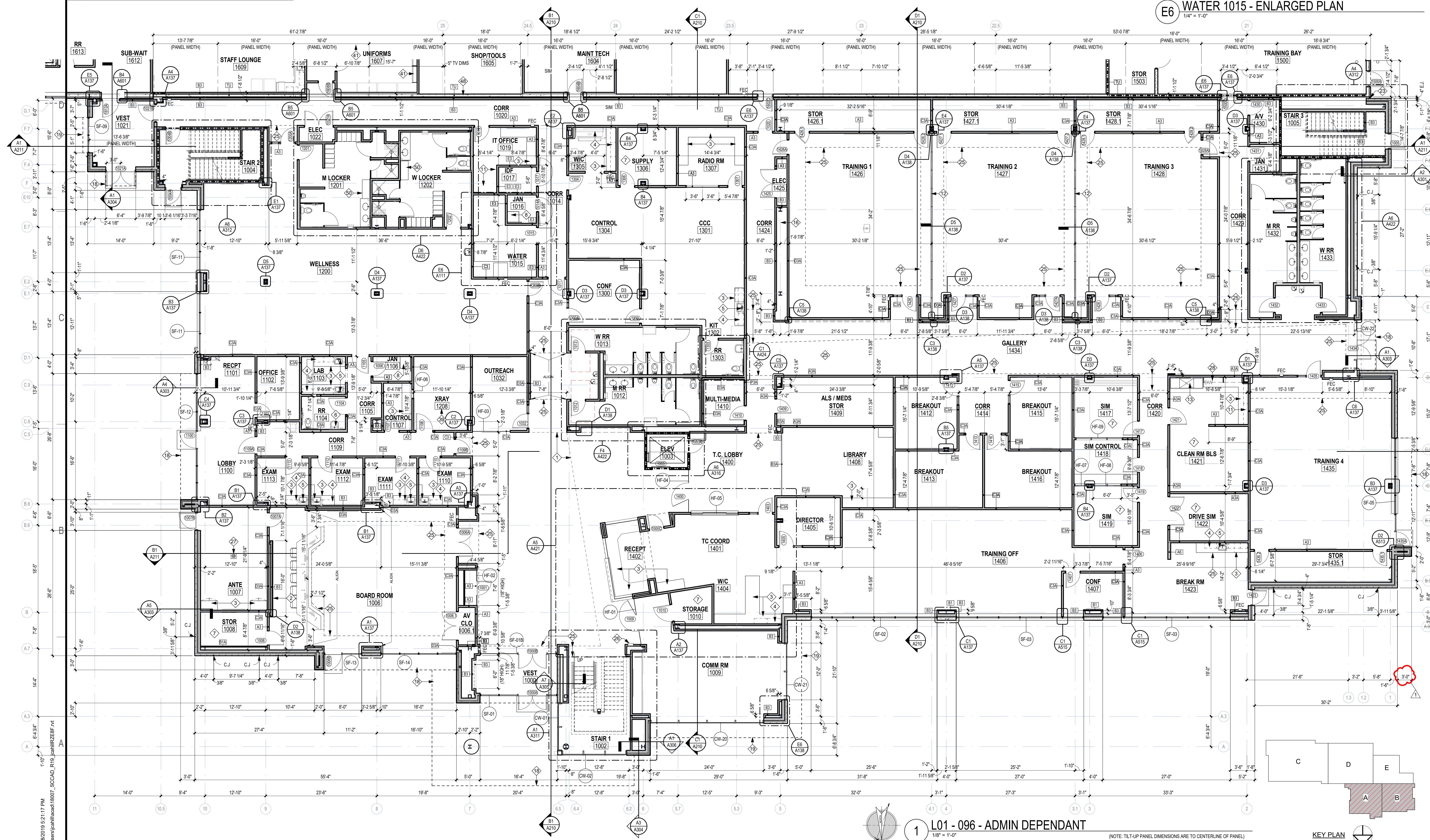
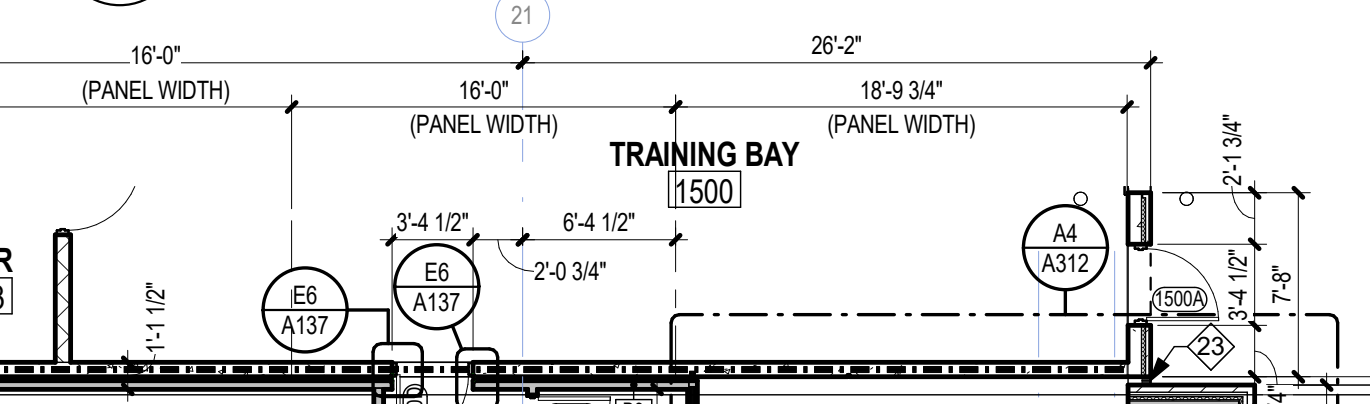
KEYED NOTES - FLOOR PLANS

- 1 SECOND FLOOR ABOVE
- 2 1/4" TEMPERED BACKPAINTED GLASS. SEE INT ELEV AND FINISH PLANS FOR ADDITIONAL INFO.
- 3 CASE WORK CONTRACTOR TO COORDINATE & INSTALL SUPPORT BLOCKING AS REQD. - SEE APPLICABLE INTERIOR ELEVATIONS.
- 4 UPPER CABINETS. CONTRACTOR TO COORDINATE & INSTALL SUPPORT BLOCKING AS REQD. - SEE APPLICABLE INTERIOR ELEVATIONS.
- 5 SINK. - SEE PLUMBING DRAWINGS.
- 6 WALL MOUNTED LAVATORY. - SEE PLUMBING DRAWINGS.
- 7 VERIFY W/ OWNER FOR BLOCKING REQUIREMENTS FOR OWNER SUPPLIED SHELVING, ETC.
- 8 JANITORS SINK. - SEE PLUMBING DRAWINGS.
- 9 WALL MOUNTED URINAL. - SEE PLUMBING DRAWINGS.
- 10 ELECTRIC WATER COOLER. - SEE PLUMBING DRAWINGS.
- 11 ADJUSTABLE SHELVING IS HIGH. 18" D. U.N.O. W/ HEAVY DUTY STANDARDS AND KY SUPPORT BRACKETS. CONTRACTOR TO COORDINATE & INSTALL SUPPORT BLOCKING AS REQD. - SEE APPLICABLE INTERIOR ELEVATIONS.
- 12 OPERABLE PARTITION PANELS IN CLOSED POSITION
- 13 DECOR SINK. - SEE PLUMBING DRAWINGS.
- 14 GLASS-FIBER REINFORCED GYPSUM (GFRG) ROUND COLUMN ENCLOSURE. SEE SPECIFICATIONS FOR MORE INFORMATION.
- 15 PREFABRICATED STEEL LADDER
- 16 STRUCTURAL STEEL "X" BRACING. - SEE STRUCTURAL DRAWINGS
- 17 EXPOSED STRUCTURAL STEEL "X" BRACING. PRIMED AND PAINTED. - SEE STRUCTURAL DRAWINGS
- 18 ROOF OVERHANG ABOVE
- 19 SUN SCREEN ABOVE
- 20 CANOPY BELOW
- 21 LAUNDRY SINK. - SEE PLUMBING DRAWINGS.
- 22 6" ROUND STEEL PIPE BOLLARDS FILLED WITH CONCRETE. - SEE DETAILS A3, A4, A3/A601
- 23 BUILDING EXPANSION JOINT
- 24 CEILING CHANGE ABOVE
- 25 AEO CABINET

KEYED NOTES - FLOOR PLANS

- 27 FLOOR ELEC. OUTLET
- 28 S.S. WIRE SHELVING
- 29 48" HIGH, 10" DIAMETER CONCRETE ENCLOSED COLUMN. PAINT CONCRETE AND COLUMN SAFETY YELLOW UP TO 8'-0" A.F.F.
- 31 4" YELLOW STRIPS
- 32 CROSSWALK - 4" YELLOW STRIPS, 24" SPACING
- 33 TRENCH DRAIN. - SEE PLUMBING DRAWINGS
- 34 HOUSEKEEPING PAD. - SEE MANUFACTURER FOR THICKNESS
- 35 SHIP LADDER WITH ROOF HATCH
- 36 OVER HEAD DOOR LOOP. - SIZE AND LOCATION PER MANUFACTURER
- 37 WINDOW BLINDS. - SEE FINISH SCHEDULE
- 38 TAPERED INSULATION CRACKET
- 39 1/16" LEADED GYP BD UP TO 8'-0" AT ALL WALLS IN ROOM
- 40 TPO ON COVER BOARD ON R-30 INSULATION
- 41 HANGER ROD AND SHELF (2) HIGH
- 42 MECHANICAL COVER. - SEE ELEVATIONS FOR HEIGHT AND MECH DRWS FOR ADDITIONAL INFORMATION.
- 43 PREFINISHED ALUMINUM DOWNSPOUT W/ CAST IRON BOOT AT GRADE. - SEE ROOF PLAN AND CIVIL DRWS
- 44 HIGHWAY STYLE GUARD BARRIER W/ FLARED ENDS. HOLD TIGHT TO FENCE POSTS EXPANSION ANCHORED TO FLOOR W/ (4) BOLTS FOR SUPPORT PER DETAIL
- 45 2" HIGH PAINTED NUMBERS AT EACH BAY. VERIFY W/ OWNER FINAL NUMBERING OF EACH BAY PRIOR TO INSTALL
- 46 SERVICE EQUIPMENT SUPPLIED AND INSTALLED BY COORDINATE FINAL LOCATION AND SLAB REQUIREMENTS W/ MANUFACTURER AND OWNER
- 47 MECHANICAL WASTE OIL HEATER
- 48 PAINT THIS TILT-UP PANEL TO DECK/CLG ABOVE IN BASE BID
- 49 EXPOSED STEEL COLUMN. PAINT TO MATCH WALL COLOR TO DECK ABOVE
- 50 LOCKER ROOM BENCH
- 51 OVERHEAD COILING COUNTER WINDOW. 4'-0" WIDE. 2'-10" COUNTER UP TO 7'-4" BOND BEAM HEADER

E6 WATER 1015 - ENLARGED PLAN
1/4" = 1'-0"



1 L01 - 096 - ADMIN DEPENDANT
1/8" = 1'-0"

(NOTE: TILT-UP PANEL DIMENSIONS ARE TO CENTERLINE OF PANEL)

KEY PLAN

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SCCAD HEADQUARTERS

ST. PETERS, MISSOURI
2000 SALT RIVER ROAD

Revision

No. 1
Date 12/02/19
Desc. Minor Revisions

Project No. 18007

Sheet No. **A111**

Date 12/02/2019

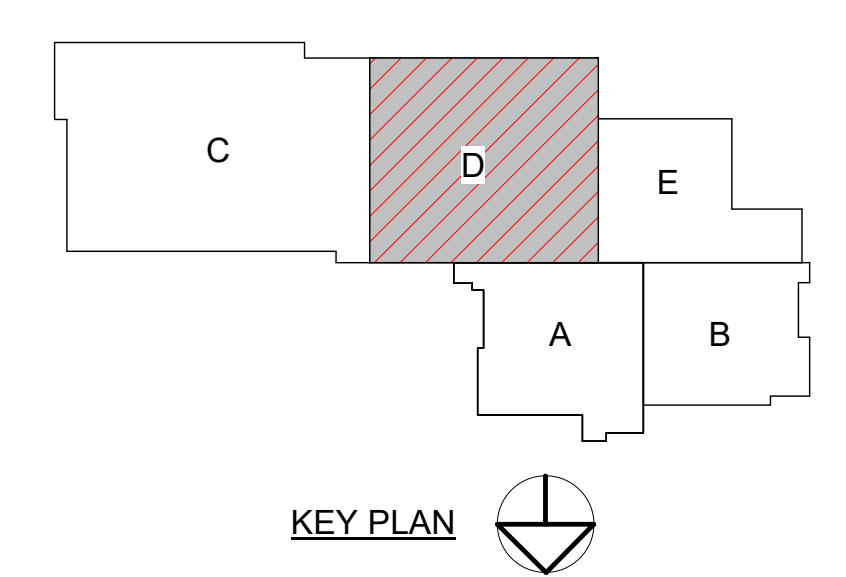
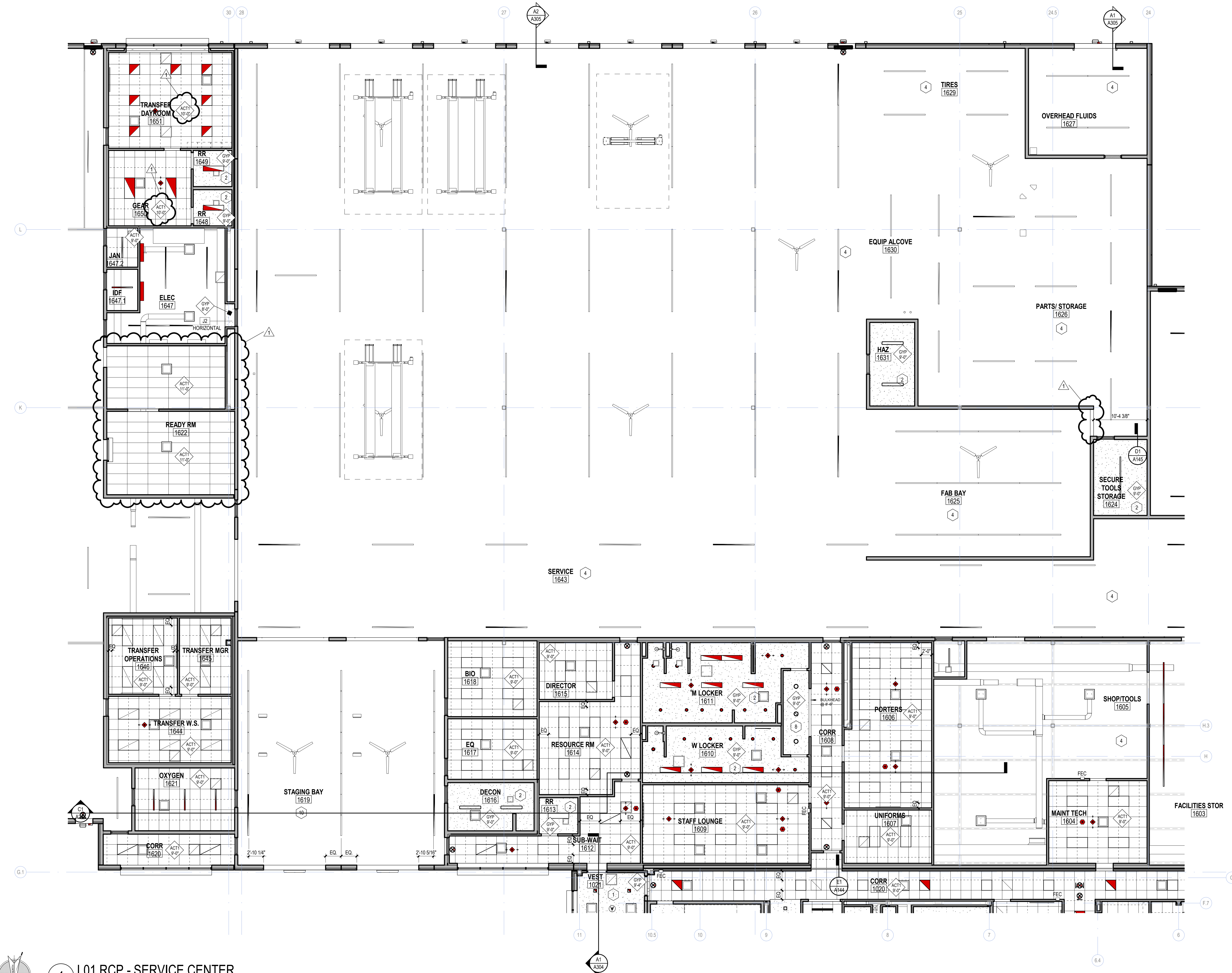
ADMIN - LEVEL 1

**REFLECTED CEILING PLAN
GENERAL NOTES**

1. CEILINGS ARE AT 9'-0" A.F.F. UNLESS NOTED OTHERWISE.
2. GRID CEILINGS ARE TO BE ACT1, UNLESS NOTED OTHERWISE.

REFL. CLG. PLAN KEYED NOTES

MARK	DESCRIPTION
1	GYP.BD. SOFFIT PAINT P3. CONTROL JOINTS (PAINTED) AS INDICATED
2	GYP.BD. CEILING WET LOCATION PAINT P11
3	WELLNESS CEILING PAINT HIGHLIGHT COLOR P13
4	SEE ALT. # 5 FOR PAINTED STRUCTURE - PAINT P12
5	GYP.BD. SURROUND PAINT HIGHLIGHT COLOR P5
6	LOBBY: CEILING INSIDE EXHIBIT DISPLAY CASE TO BE WC2
7	NOT USED
8	GYP.BD. SOFFIT PAINT HIGHLIGHT COLOR P6
9	COLLABORATION AREAS: DECORATIVE PENDANT LIGHTING. CUSTOM COLOR. SEE MEP
10	STAGING BAY / TRAINING BAY - OPEN CEILING - PAINT ALL ROOF DECK, EXPOSED STEEL, EXPOSED MECH., ELEC., & PLUMBING ITEMS WITH IN CEILING AREA.
11	CONTINUOUS LINEAR DISPLAY CASE LIGHT
12	ROLLER SHADE - WHERE OCCURS. REF. FINISH FLOOR PLANS
13	PROVIDE & INSTALL CUBICLE CURTAIN TRACKS (3 TRACKS) FOR OWNER PROVIDED CURTAINS
14	RECESSED WALL WASH LIGHT FIXTURE - SEE ELECTRICAL
15	PROJECTOR SUSPENDED BELOW CEILING
16	ALL EXPOSED STEEL TO BE PAINTED - COLOR TBD
17	OPEN CEILING TO DECK ABOVE. ALL WALLS ARE TO BE FINISHED TO DECK AND PAINTED. CUT & SEAL TOP OF WALL INTO FLUTES OF DECK & HOLD GYP BOARD TIGHT AROUND STRUCTURE, PIPES, DUCTWORK, ETC.
18	EXHAUST HOOD ABOVE STOVE - REF. MECH



1 L01 RCP - SERVICE CENTER
1/8" = 1'-0"

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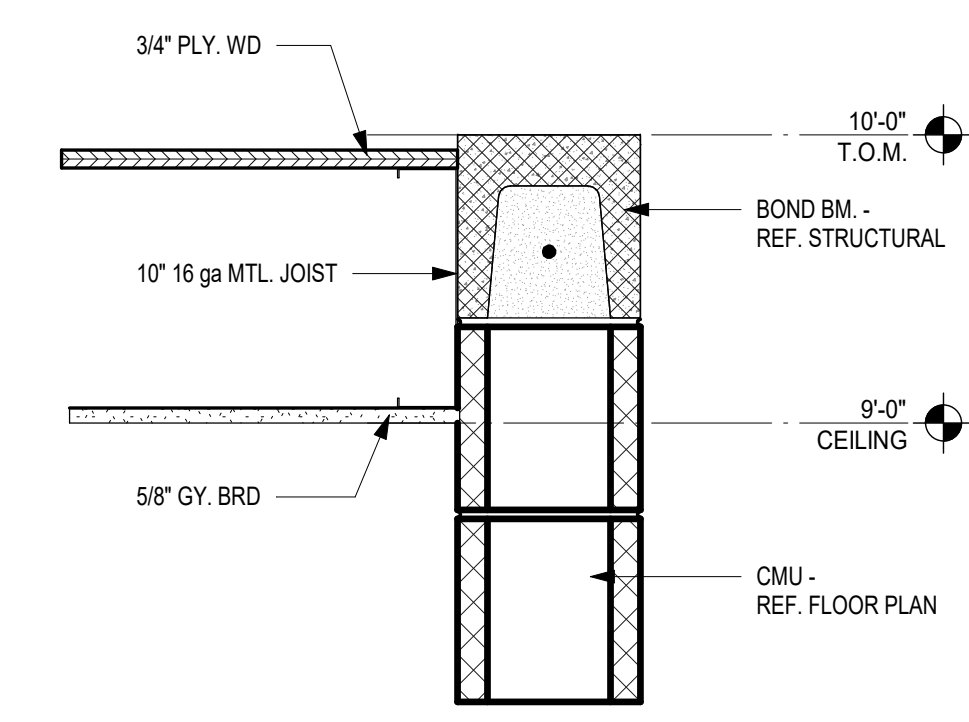
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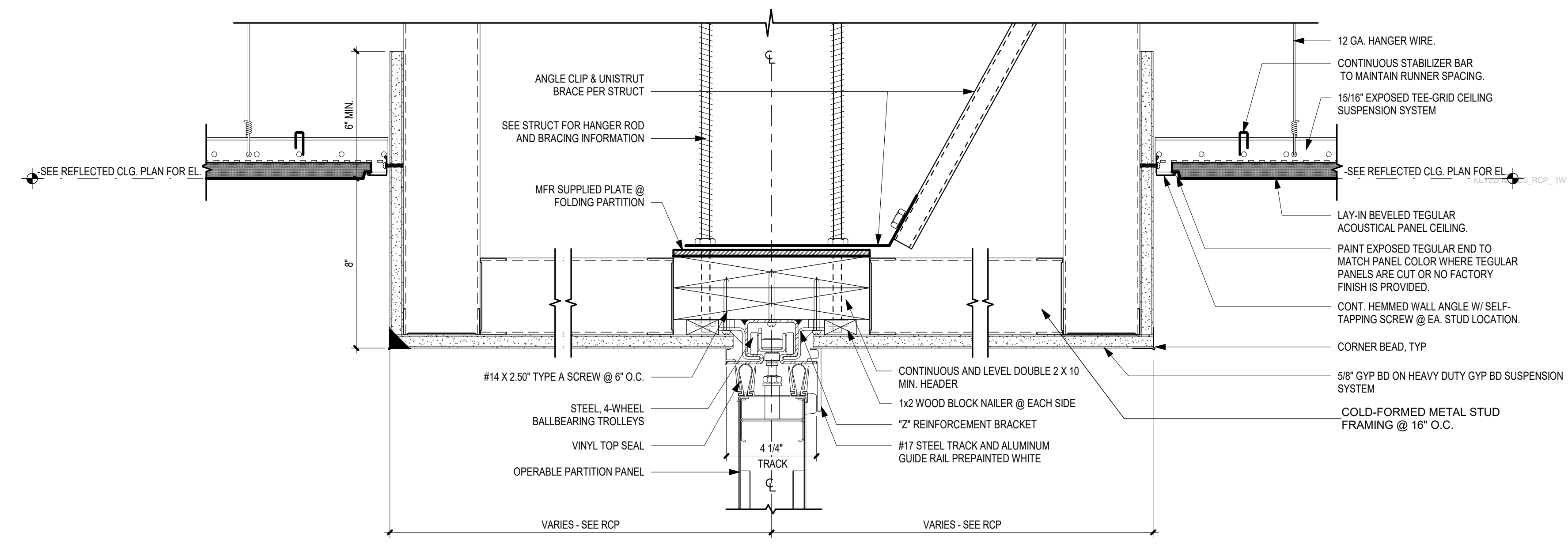
Proposed:
SCCAD HEADQUARTERS
ST. PETERS, MISSOURI
2000 SALT RIVER ROAD

Project No. 18007
Sheet No. **A143**
Date 12/02/2019

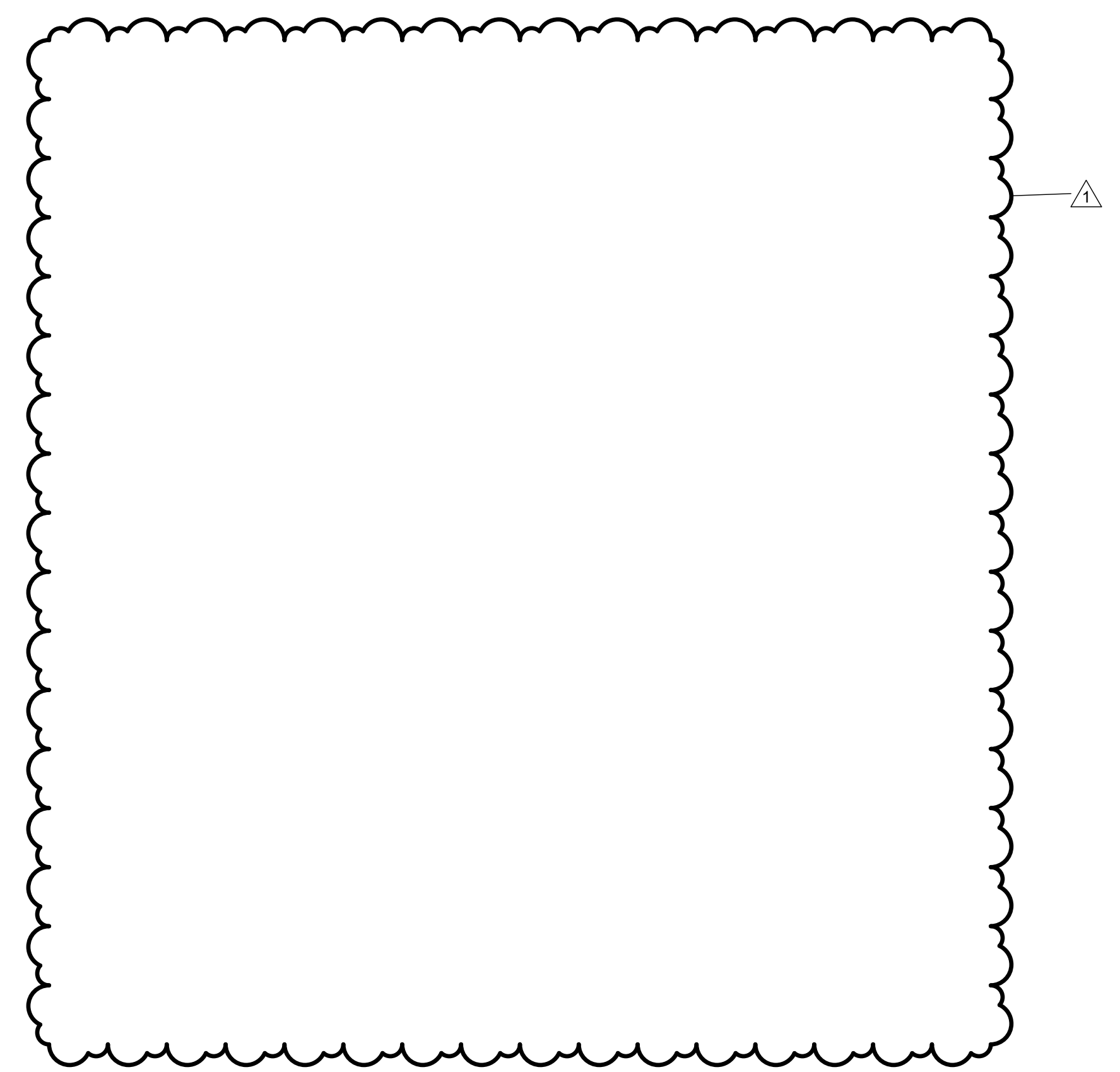
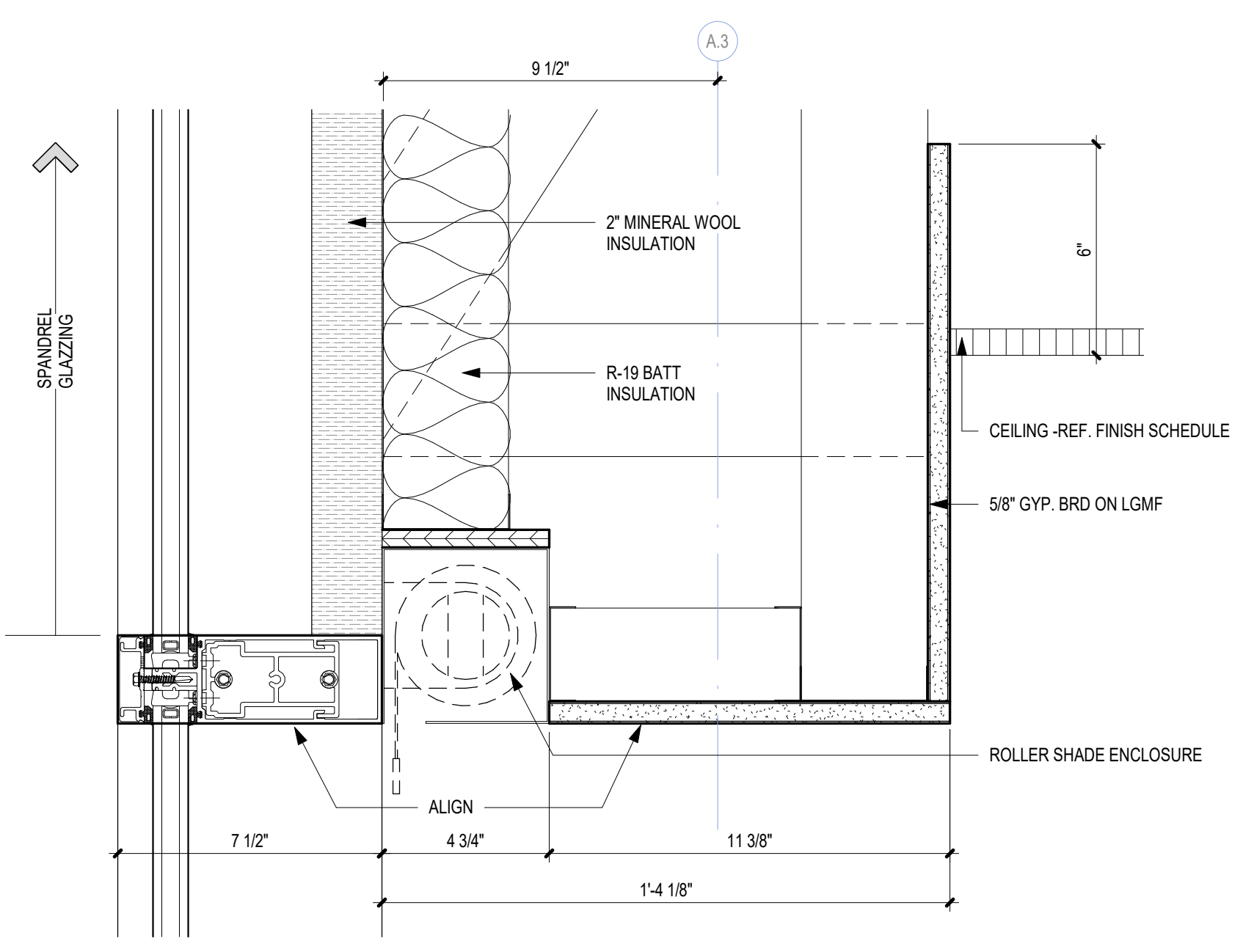
D1 TOP OF CMU PARTITION
1 1/2" = 1'-0"



D4 OPERABLE PARTITION HEAD
3" = 1'-0"



C4 ROLLER SHADE @ COMM RM
3" = 1'-0"

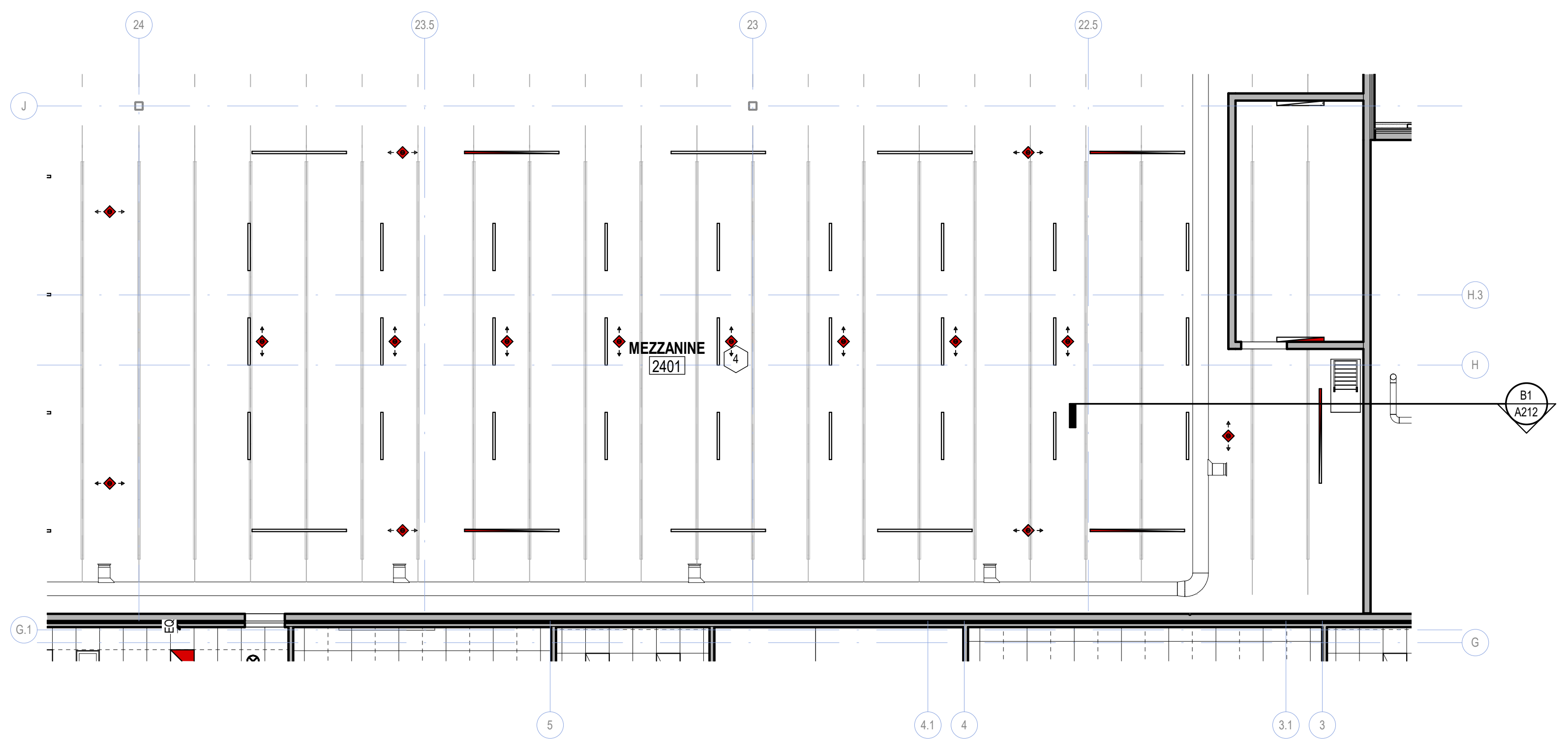


**REFLECTED CEILING PLAN
GENERAL NOTES**

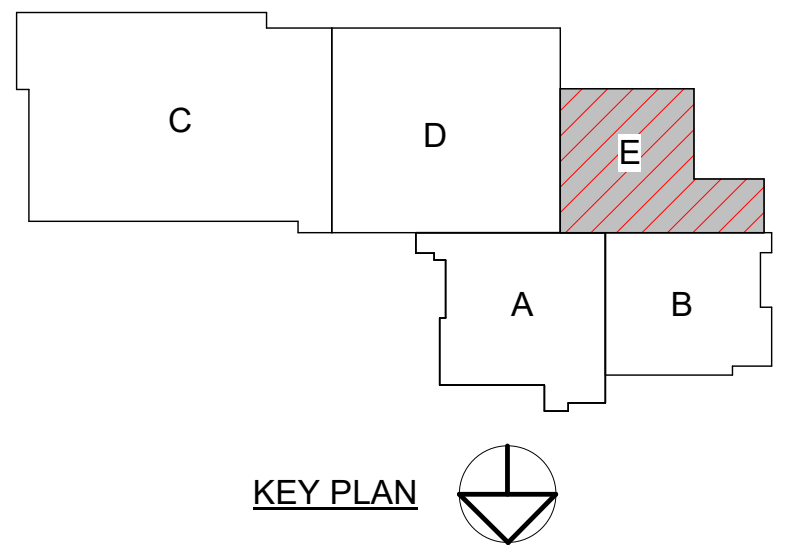
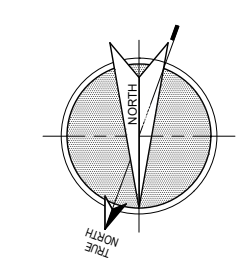
1. CEILING ARE AT 9'-0" A.F.F. UNLESS NOTED OTHERWISE.
2. GRID CEILING ARE TO BE ACT1, UNLESS NOTED OTHERWISE.

REFL. CLG. PLAN KEYED NOTES

MARK	DESCRIPTION
1	GYP BD, SOFFIT PAINT P3, CONTROL JOINTS (PAINTED) AS INDICATED
2	GYP BD, CEILING WET LOCATION PAINT P11
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10	STAGING BAY / TRAINING BAY - OPEN CEILING - PAINT ALL ROOF DECK, EXPOSED STEEL, EXPOSED MECH., ELEC., & PLUMBING ITEMS WITH IN CEILING AREA.
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12	ROLLER SHADE - WHERE OCCURS, REF. FINISH FLOOR PLANS
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18	EXHAUST HOOD ABOVE STOVE - REF. MECH



1 L02 RCP - OPERATIONS
1/8" = 1'-0"



KEY PLAN

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Proposed:
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2000 SALT RIVER ROAD

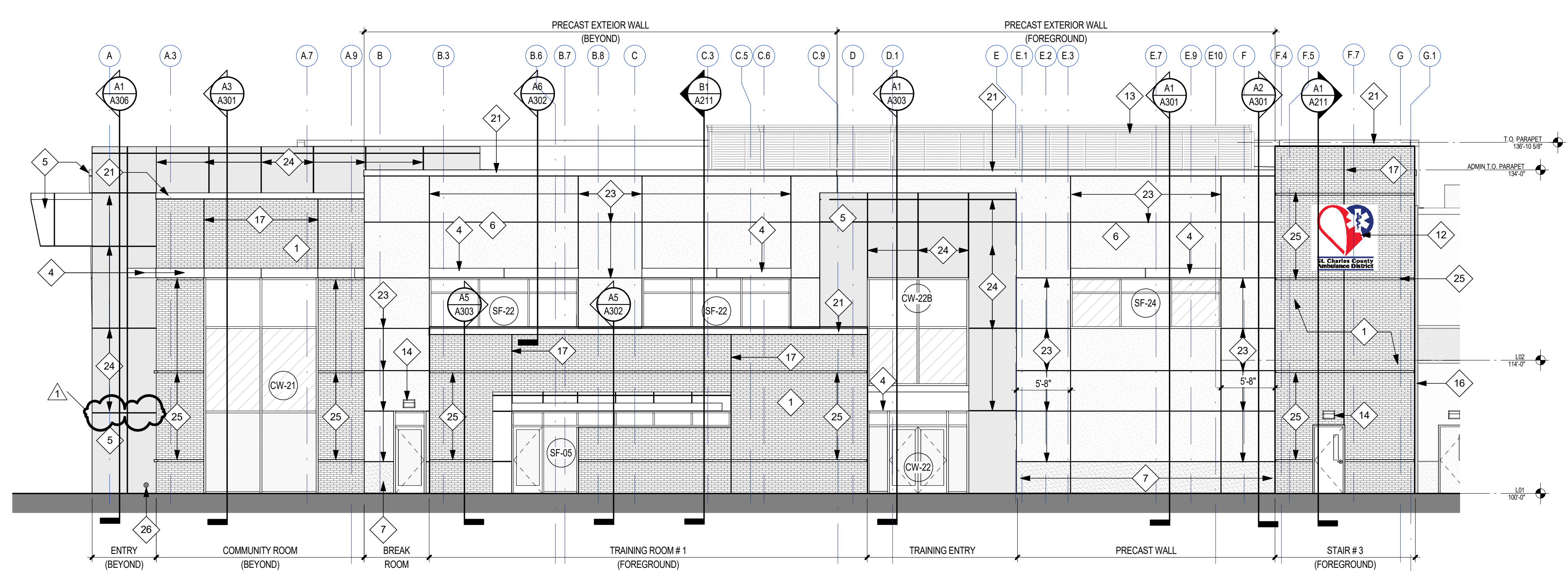
Project No.
18007
Sheet No.
A145
Date
12/02/2019

No.	Date	By	Desc.
1	12/02/19	JM	Issued for Construction

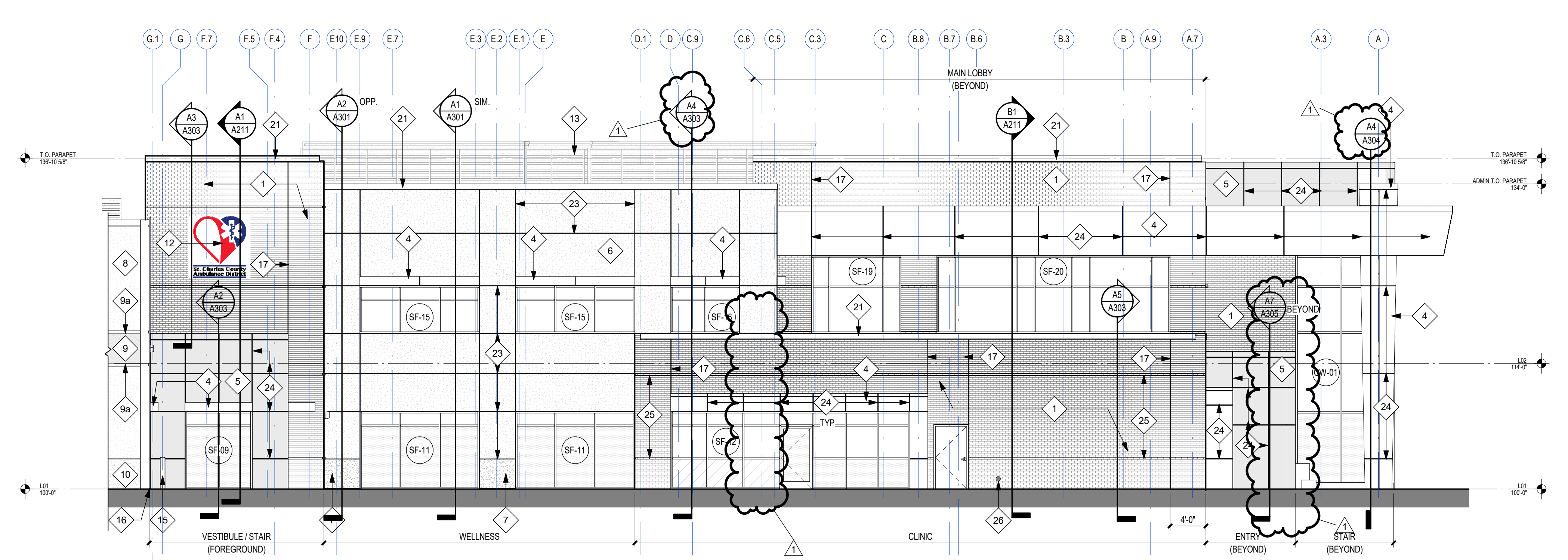
ROP - OPERATIONS 2

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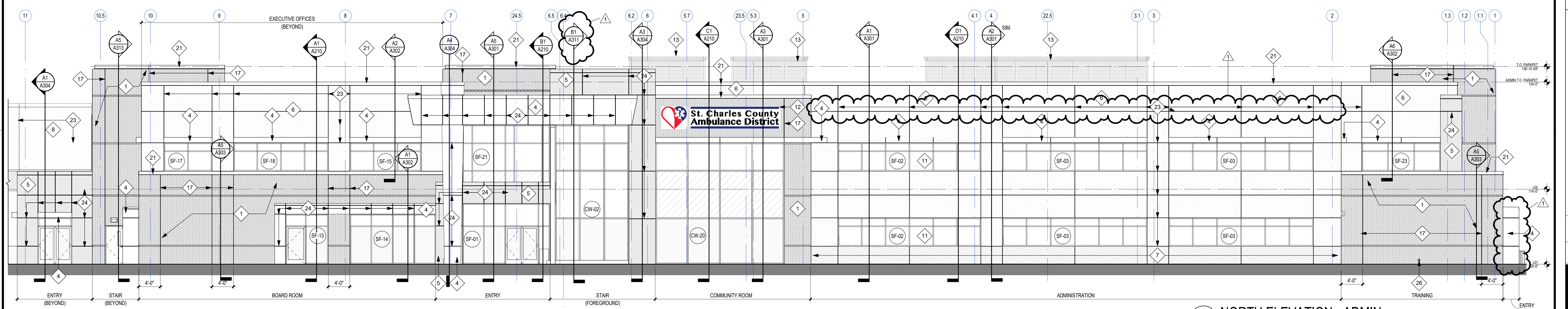
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 SCALE: 1/4" = 1'-0"
 SCALE: 3/32" = 1'-0"
 SCALE: 1/16" = 1'-0"



D1 WEST ELEVATION - ADMIN.
 1/8" = 1'-0"



B1 EAST ELEVATION - ADMIN.
 1/8" = 1'-0"



A1 NORTH ELEVATION - ADMIN.
 1/8" = 1'-0"

- KEYED NOTES - EXTERIOR ELEVATIONS**
- MODULAR BRICK - COLOR: 759 PEBBLE GRAY
 - PREFINISHED METAL SCUPPER - COLOR: (FIRESTONE) SILVER METALIC
 - LOADING DOCK SHELTER - REF. SPECIFICATIONS
 - COMPOSITE METAL PANEL SYSTEM - COLOR: (REYNOLBOND) BRILLIANT RED
 - COMPOSITE METAL PANEL SYSTEM - COLOR: (REYNOLBOND) SILVERSMITH
 - ARCHITECTURAL PRECAST CONCRETE PANEL - COLOR:
 - ARCHITECTURAL PRECAST CONCRETE PANEL - COLOR:
 - INSULATED TILTUP WALL PANEL - COLOR: SW7015 REPOSE GRAY (EP-1)
 - INSULATED TILTUP WALL PANEL - COLOR: SW7086 GRAY MATTERS (EP-2)
 - 4" WIDE ACCENT COLOR: SW6811 HONORABLE BLUE (EP-4)
 - INSULATED TILTUP WALL PANEL - COLOR: SW7087 CITYSCAPE (EP-3)
 - STONEFRONT CURTAINWALL SYSTEM
 - EXTERIOR BUILDING SIGNAGE BY OWNER. GC TO PROVIDE POWER AND SUPPORT BLOCKING AS REQ'D BY SIGNAGE VENDOR.
 - MECH. SCREEN - COLOR: (CITYSCAPE) SHADOW GREY
 - EXTERIOR LIGHT FIXTURE - REF. ELEC. DWGS
 - STEEL BOLLARD - PAINT
 - BUILDING EXPANSION JOINT
 - MASONRY CONTROL JOINT
 - PREFINISHED METAL GUTTER - COLOR: (FIRESTONE) STEEL SILVER METALIC
 - ROOF LADDER
 - PREFINISHED METAL COPING - COLOR: (FIRESTONE) STEEL SILVER METALIC
 - PREFINISHED METAL DOWNSPOUT - COLOR: (FIRESTONE) STEEL SILVER METALIC
 - CONCRETE REVEAL
 - METAL PANEL JOINT
 - 1 COURSE RECESSED BRICK BAND - COLOR: 759 PEBBLE GRAY
 - OVERFLOW DRAIN - REF. PLUMBING DWGS.

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Proposed:

ST. PETERS, MISSOURI

2000 SALT RIVER ROAD

ENLARGED EXTERIOR ELEVATION

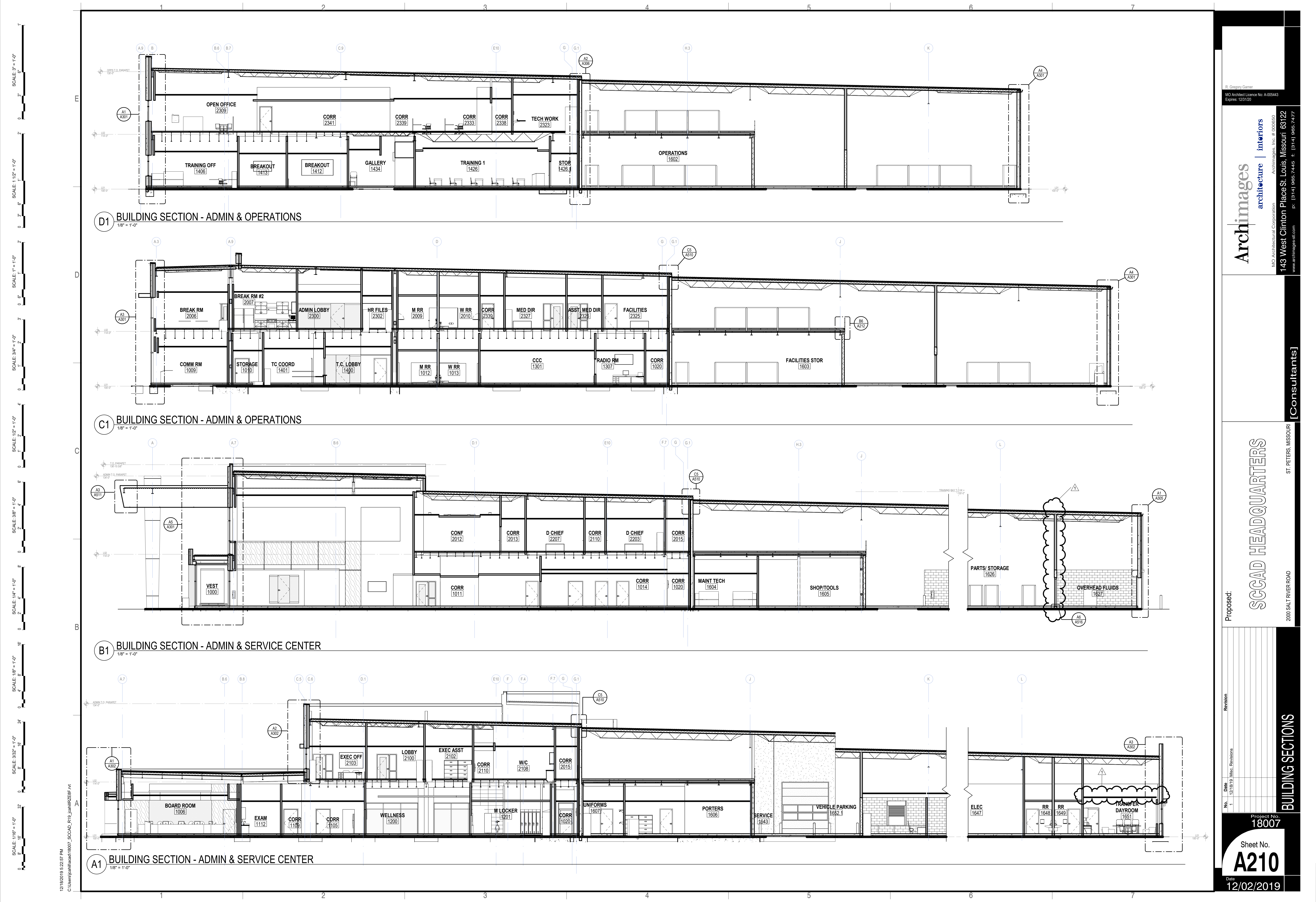
Revision

Date: 12/18/19
 No. 1
 12/18/19 jcah: Revisions

Project No. 18007

Sheet No. **A202**

Date: 12/02/2019



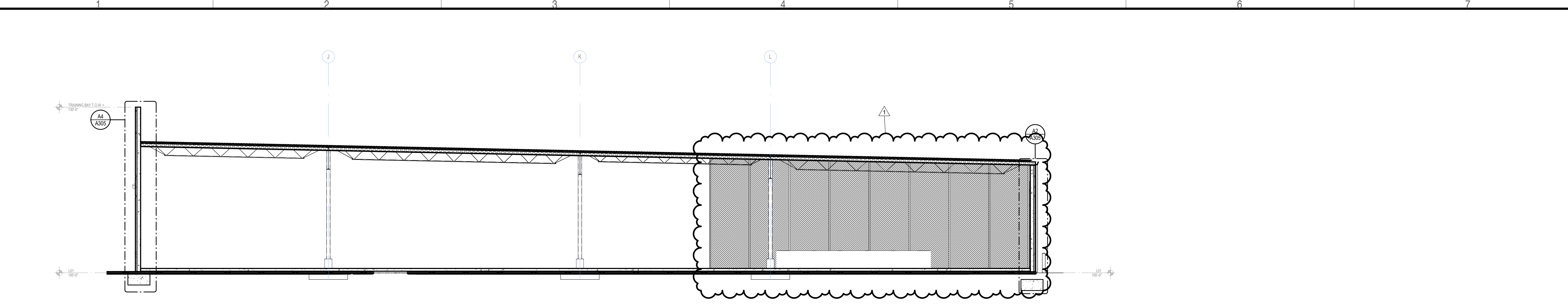
D1 BUILDING SECTION - ADMIN & OPERATIONS
1/8" = 1'-0"

C1 BUILDING SECTION - ADMIN & OPERATIONS
1/8" = 1'-0"

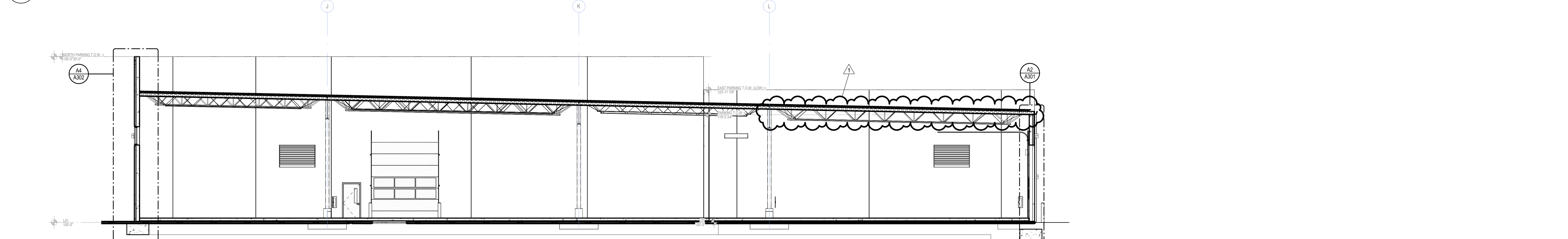
B1 BUILDING SECTION - ADMIN & SERVICE CENTER
1/8" = 1'-0"

A1 BUILDING SECTION - ADMIN & SERVICE CENTER
1/8" = 1'-0"

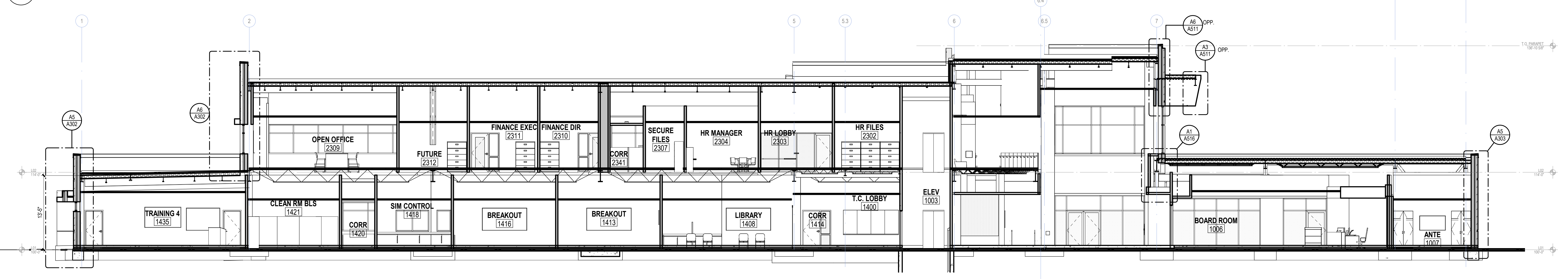
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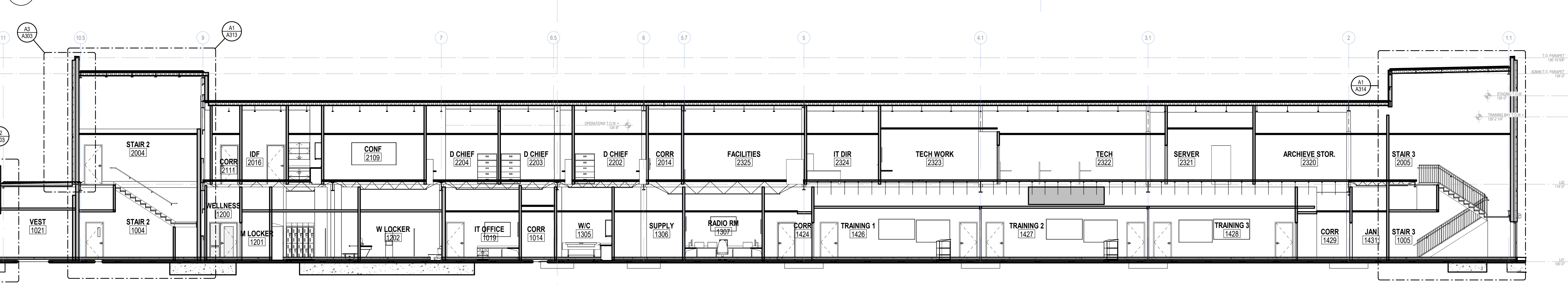
D1 BUILDING SECTION - PARKING
 1/8" = 1'-0"



C1 BUILDING SECTION - PARKING
 1/8" = 1'-0"

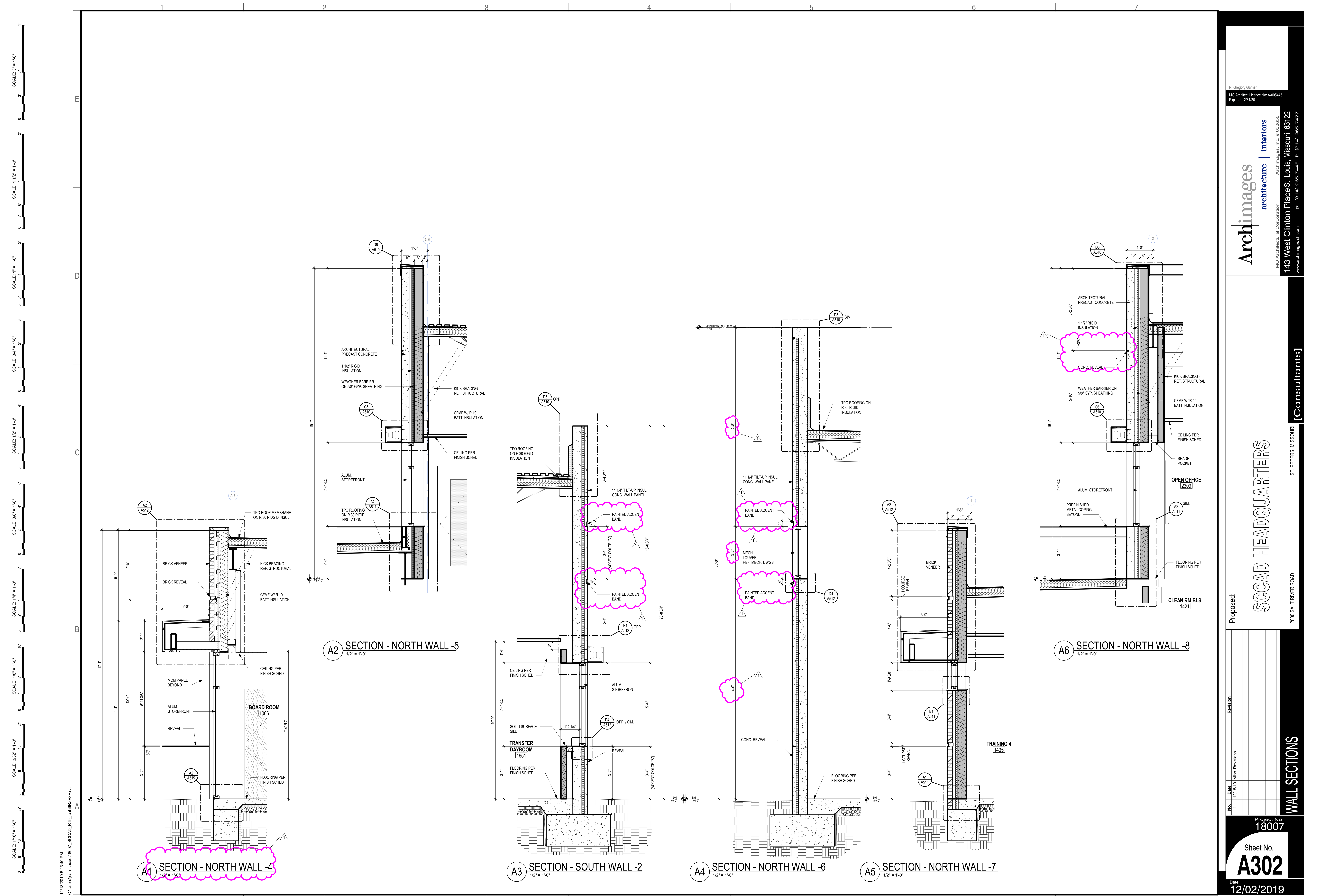


B1 BUILDING SECTION - ADMIN
 1/8" = 1'-0"



A1 BUILDING SECTION - ADMIN
 1/8" = 1'-0"

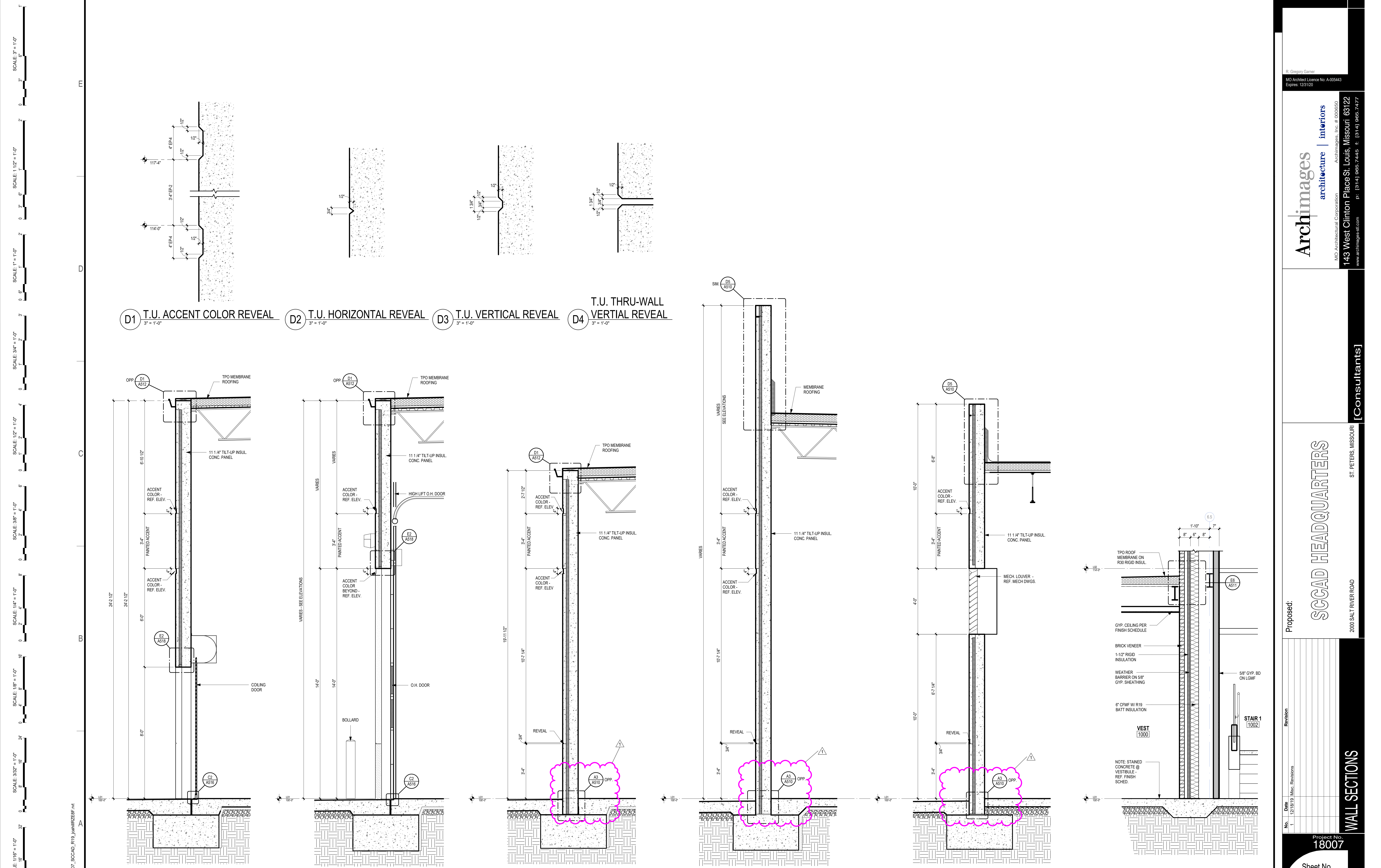
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SCALE: 3/4" = 1'-0"
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 SCALE: 1/4" = 1'-0"
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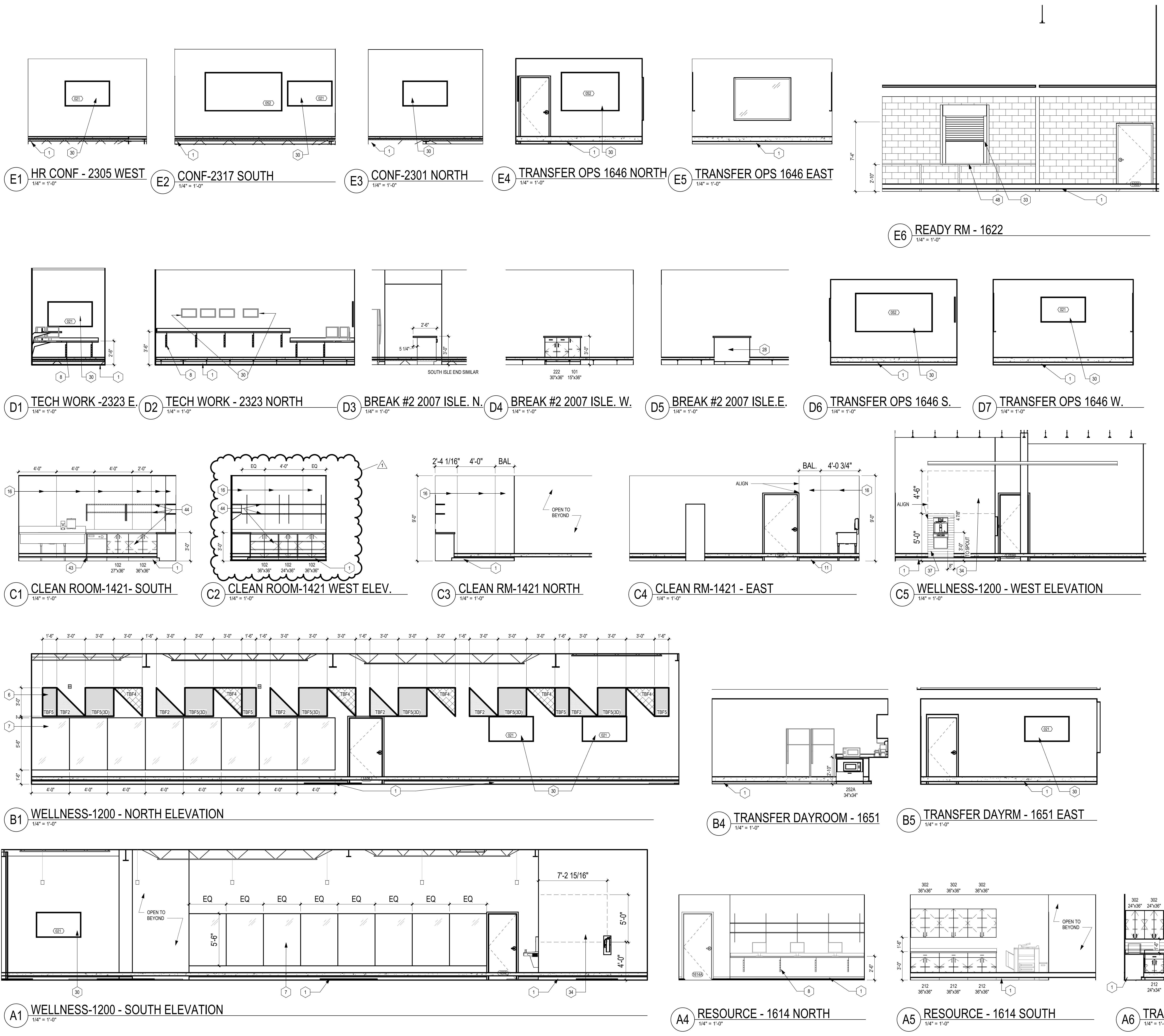
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INTERIOR ELEV. KEYED NOTES

MARK	DESCRIPTION
1	SCHEDULED WALL BASE.
2	WRAP ENTIRE FEATURE "L" SHAPE ELEMENT IN WALLCOVERING WC2 ALL EXPOSED SIDES. WRAP WC INTO 1/2" REVEALS. NOTE WALL TO BE PREP'D TO LEVEL 5 FINISH BEFORE INSTALL. CONCEALED COVE LIGHT IN UNDERSIDE OF ELEMENT - SEE REFLECTED CEILING PLAN & ELECTRICAL DIVGS.
3	WALLS TO BE PREP'D TO LEVEL 5 FINISH BEFORE PAINTING HIGHLIGHT COLOR.
4	CONTINUOUS RECESSED SLOT LIGHT. SEE REFLECTED CEILING PLAN & ELECTRICAL DIVGS.
5	FEATURE SURROUND WITH 1/2" PAINTED REVEALS TO BE PAINTED HIGHLIGHT COLOR PS ALL EXPOSED SIDES.
6	ACOUSTICAL WALL PANELS (BUTT JOIN) WITH SURFACE APPLIED LOGO. SEE FINISH PLAN & SCHEDULE.
7	MIRROR WALL PANELS (BUTT JOIN) SECURELY FASTENED TO WALL. BRING ANY DEVICES/OUTLETS TO FACE OF MIRROR. SEE FINISH PLAN & SCHEDULE.
8	METAL ANGLED SUPPORT BRACKETS, MAX SPACING 4'-0" O.C.
9	WALL PROTECTION SEE FINISH PLAN & SCHEDULE.
10	CUSTOM EXHIBIT DISPLAY CASE TEMPERED GLASS FRONT PANELS & DOOR W/ SF8 CABLE SUSPENDED TEMPERED GLASS SHELVING. SEE FFP & DETAILS.
11	WOOD PLATFORM W/ PAINTED GYP BOARD SUPPORT COLUMN.
12	BACKPAINTED GLASS PANELS (BUTT JOIN) WITH SURFACE APPLIED LOGO. SEE FINISH PLAN & SCHEDULE.
13	CUSTOM RECEPTION DESK QUARTZ CHASSIS & TOPS. ENCLOSED WITH BUTT GLAZED TEMPERED GLASS PANELS ABOVE. REMOVABLE PLAM ACCESS PANELS BELOW. INTERIOR PLAM BASE CABINETRY AS INDICATED.
14	CUSTOM BUILT IN DIAS. WOOD VENEER FRONT FACADE W/ CONCEALED BULLET RESISTANT PANELS QUARTZ TRANSACTION TOP. DASHED LINE INDICATES CONTINUOUS CONCEALED UNDER COUNTER LED LIGHT FIXTURE. LAMINATE REMOVABLE INTERIOR PANELS W/ BLACK METAL SUPPORT BRACKETS. PLAM WORKSURFACE. SEE FFP & SCHEDULE.
15	BUTT GLAZED GLASS BALCONY RAIL.
16	FRP ON WALLS AT JANITOR CLOSET & CLEAN ROOM & DECON. REF. FINISH PLANS FOR ADDITIONAL INFORMATION.
17	STAINLESS RANGE HOOD WITH STAINLESS WALL PANEL (STN2) BEHIND RANGE UP TO UNDERSIDE OF HOOD.
18	WOOD WALLCOVERING WALL FINISH. SEE FINISH SCHEDULE.
19	ENTIRE WALL AT DRINKING FOUNTAIN TO BE TILE PT3. REF. FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
20	TILE BACKSPLASH TO EXTENTS SHOWN. REF. FINISH FLOOR PLAN AND SCHEDULE FOR ADDITIONAL INFORMATION.
21	FEATURE STAR W/ GLASS RAIL SYSTEM W/ TOP POLISHED GLASS EDGE. STAINED & POLISHED PREFAB CONCRETE SLAB TREADS 3" THICK W/ NO SLP RECESSED CONTRASTING ABRASIVE INSERT STRIP 1" FROM TREAD EDGE. LANDING FLOOR STAINED & POLISHED CONCRETE. PAINT ALL EXPOSED GYP BOARD SURFACES. PAINT EXPOSED METAL RISERS.
22	ANGLED WOOD PLATFORM UNDER STAIR.
23	PAINTED 1/2" REVEAL.
24	PLAS. LAMINATE WALL CABINETS WITH CONTINUOUS UNDER CABINET LIGHTING.
25	PLAS. LAMINATE FILLER PANEL AS REQUIRED.
26	PARTIAL HEIGHT GYP BOARD KNEE WALL. PAINTED.
27	SLIDING & LOCKING TEMPERED GLASS RECEPTION WINDOWS. HARDWARE: CR LAURENCE MODEL: SHARYN FRAMELESS-CUSTOM "XX" CENTER PARTING CONFIGURATION. THRU-GLASS MOUNTING KEYS LOCK. SATIN ANODIZED FINISH. 1/4" TEMPERED GLASS PANELS & INCLUDE STICK ON FINGER PULLS. BUILT-IN QUARTZ TRANSACTION LEDGE. SEE FINISH SCHEDULE.
28	FINISHED PLASTIC LAMINATE BACKPANEL ON CENTER ISLAND.
29	IMPACT RESISTANT GYP BOARD AT ELEVATOR SURROUND. FINISH TO LEVEL 5 SMOOTHNESS. PAINT HIGHLIGHT COLOR. SEE FINISH SCHEDULE.
30	PROVIDE BLOCKING AT ALL WALL MOUNTED FEATURE PANELS & EQUIPMENT LOCATIONS. BLOCKING SIZE PER MANUFACTURER. RECOMMENDATIONS.
31	CONTROL JOINT LOCATION.
32	OPERABLE PARTITION SHOWN IN CLOSED POSITION.
33	OVERHEAD COILING DOOR. MANUAL OPERATION.
34	CUSTOM WALL GRAPHIC SF1 DESIGN WRAPS CORNER. NOTE WALL TO BE PREP'D TO LEVEL 5 FINISH PRIOR TO PAINTING & GRAPHIC INSTALL.
35	HEAVY DUTY CLOTHES ROD W/ SHELF - VERIFY MOUNTING HT. W/ OWNER.
36	SIM CONTROL. PROVIDE ONE-WAY FILM INTEGRAL IN THE GLASS SYSTEM.
37	DRINKING FOUNTAIN BACKSPLASH TO BE TILE PT3. REF. FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
38	SHOWERS: FULL HEIGHT SOLID SURFACE SURROUND. PROVIDE CLEAR BEAD OF SEALANT AROUND PERIMETER. AT CEILING, AT TRANSITION TO BASE & AT TRANSITION STRIP TO PORCELAIN TILE.
39	INDIV TOILET ROOMS: PROVIDE CONCEALED SHIM AT MIRROR SO MIRROR SETS FLUSH & SMOOTH ON FACE OF TILE. PROVIDE BACKER ROD & CLEAR BEAD OF SEALANT.
40	PUSH BUTTON FOR DOOR OPERATOR.
41	ELEVATOR CONTROLS.
42	DASHED LINE INDICATES SURFACE MOUNTED LOGO, BY OWNER.
43	STAINLESS STEEL FINISHED END PANEL.
44	STAINLESS STEEL WIRE SHELVING/ STAINLESS STEEL BASE CABINETS.
45	DASHED LINE INDICATES SCALE, BY OWNER (N.I.C.)
46	1/2" WOOD REVEAL.
47	BREAKROOM: BAR HEIGHT QUARTZ "COMMUNITY TABLE" W/ SOLID QUARTZ PANEL LEG TO FLOOR. MITRE CORNERS. SEE FINISH PLAN.
48	25'D SOLID SURFACE COUNTERTOP PASS THRU WITH 2" WIDE X 24" DEEP HEAVY DUTY SOLID SURFACE PANEL SUPPORT LEGS.
49	LOCKER RMS: BENCH 20'D SOLID SURFACE SEAT. WALL MOUNTED BENCHES WITH CONCEALED PLATING SUPPORT BRACKETS. FREESTANDING BENCHES WITH 4 PEDISTAL LEGS AND SOLID SURFACE BACK.
50	STAINLESS STEEL COUNTERTOP HEAVY DUTY & BACKSPLASH W/ BRACKET SUPPORTS.
51	HEAVY DUTY WALL HUNG SHELVING - SEE FINISH PLAN.



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SCCAD HEADQUARTERS
 ST. PETERS, MISSOURI
 2000 SALT RIVER ROAD

Proposed:

Revision

No.	Date	Description
1	12/02/19	Issued: Revisions

Project No. **18007**

Sheet No. **A414**

Date: **12/02/2019**

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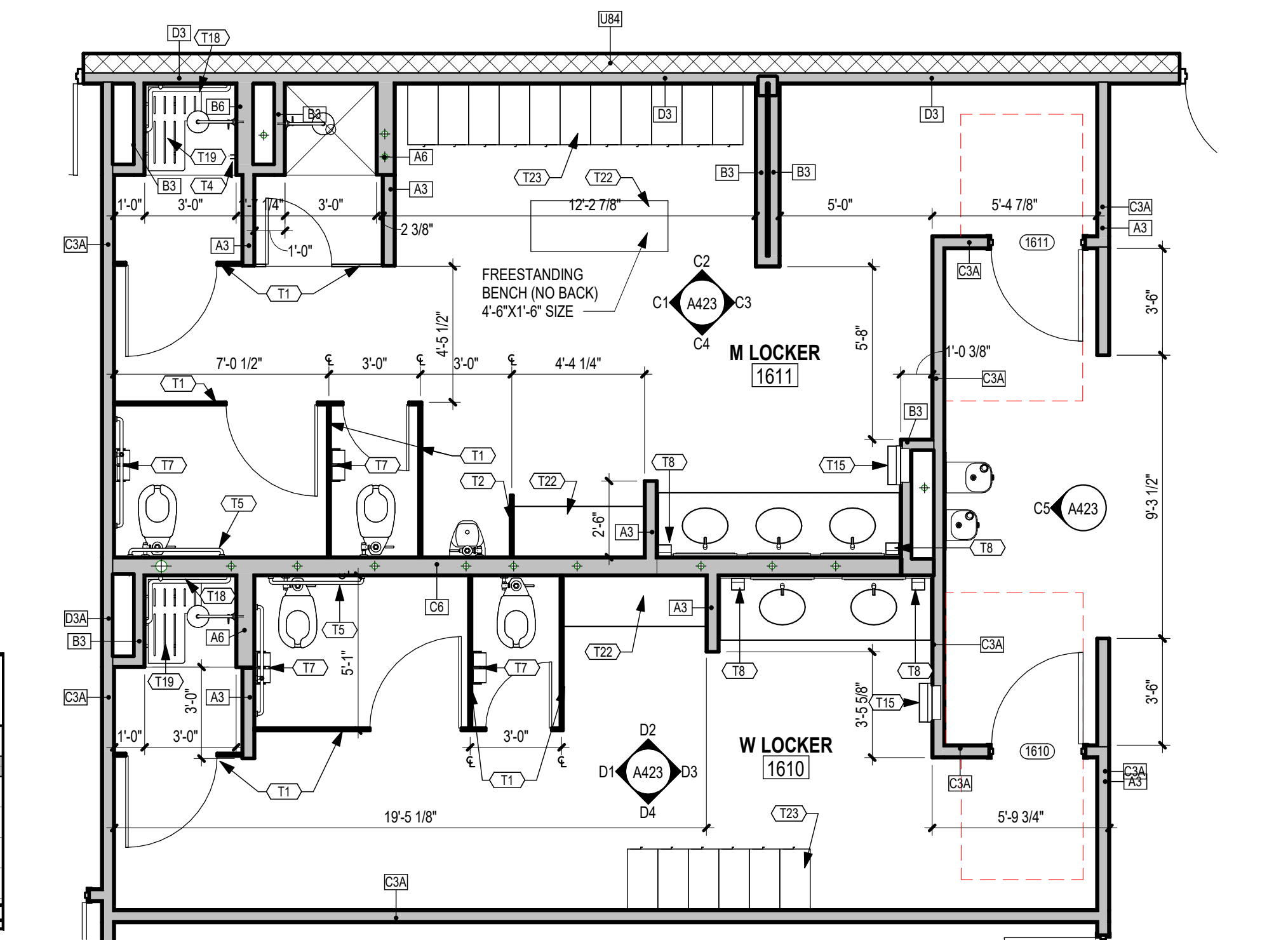
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TOILET ACCESSORY SCHEDULE

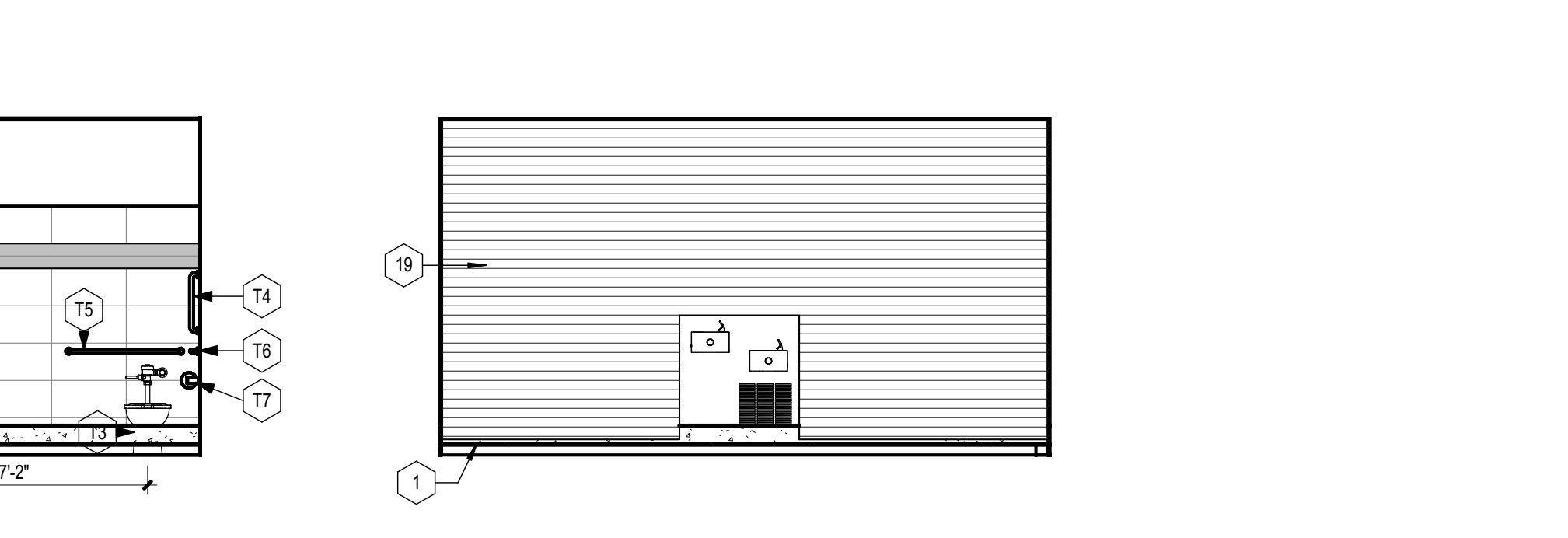
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T1	TOILET & SHOWER PARTITION SOLID PHENOLIC	ASI	-	BLACK CORE PHENOLIC	CUSTOM SEE FIN SCHED	1 & 4
T2	URNAL SCREEN SOLID PHENOLIC	ASI	-	BLACK CORE PHENOLIC	CUSTOM SEE FIN SCHED	1 & 4
T3	PLUMBING FIXTURE					2
T4	VERTICAL GRAB BAR 18" L X 1 1/2" ø	BOBRICK	B-8906-18	STAINLESS STEEL	SATIN	4
T5	GRAB BAR 36" L X 1 1/2" ø	BOBRICK	B-8806-36	STAINLESS STEEL	SATIN	4
T6	GRAB BAR 42" L X 1 1/2" ø	BOBRICK	B-8806-42	STAINLESS STEEL	SATIN	4
T7	TOILET PAPER DISPENSER	BOBRICK	B-8667	HVY. DUTY CAST ALUM.	SATIN	4
T8	SOAP DISPENSER	BOBRICK	B-262	STAINLESS STEEL	SATIN	6
T9	PAPER TOWEL DISPENSER	BOBRICK	B-7627	STAINLESS STEEL	SATIN	3
T10	DOUBLE ROSE HOOK	BOBRICK	B-7627	STAINLESS STEEL	SATIN	3
T11	MIRROR W/ S.S. CHANNEL FRAME	BOBRICK	B-165-1836	STAINLESS STEEL	SATIN	4
T12	SANITARY NAPKIN DISPOSAL RECEPTACLE	BOBRICK	B-254	STAINLESS STEEL	SATIN	4
T13	SURFACE MTD. NAPKIN/TAMPON VENDOR	BOBRICK	B-282-25	STAINLESS STEEL	SATIN	4
T14	MOP AND BROOM HOLDER	BOBRICK	B-223-36	STAINLESS STEEL	SATIN	4
T15	RECESSED PAPER TOWEL DISP. IN/WASTE	BOBRICK	B-3844	STAINLESS STEEL	SATIN	4
T16	LAVATORY MOUNTED SOAP DISPENSER	BOBRICK	B-8206	STAINLESS STEEL	SATIN	4
T17	SHOWER GRAB BAR	BOBRICK	B-8661	STAINLESS STEEL	SATIN	4
T18	SHOWER SEAT	BOBRICK	B-5181	SOLID PHENOLIC	SATIN ALUMINUM	4
T19	3-COAT HOOK STRAP	MAGNUSON GROUP	3C215	BLACK LAMINATE PANEL	SATIN ALUMINUM	5
T20	SPECIMEN PASS THROUGH	BOBRICK	B-266	STAINLESS STEEL	SEE DETAILS	
T21	SOLID PHENOLIC BENCH	CUSTOM	-	SOLID PHENOLIC	SEE DETAILS	
T22	METAL LOCKERS	GLOBAL	-	POWDER COATED STEEL	SEE DETAILS	

TOILET ACCESSORIES REMARKS:
 1. SEE SPECIFICATIONS FOR TOILET PARTITIONS AND/OR URINAL SCREENS.
 2. SEE PLUMBING DRAWINGS FOR PLUMBING FIXTURE SPECIFICATIONS.
 3. ROSE HOOKS TO BE INSTALLED ON ALL PARTITION DOORS @ 48" A.F. OR ON TOILET ROOM DOOR IN SINGLE OCCUPANCY TOILET ROOMS.
 4. PROVIDE BIDDING AT ALL TOILET PARTITIONS, URINAL SCREENS, GRAB BARS AND ACCESSORIES WHICH ARE WALL MOUNTED.
 5. PROVIDE HOOK TRIP TO BE INSTALLED ON ALL OFFICES ON WALL BEHIND DOOR.
 6. SOAP DISPENSERS WILL BE OWNER PROVIDED, CONTRACTOR INSTALLED.

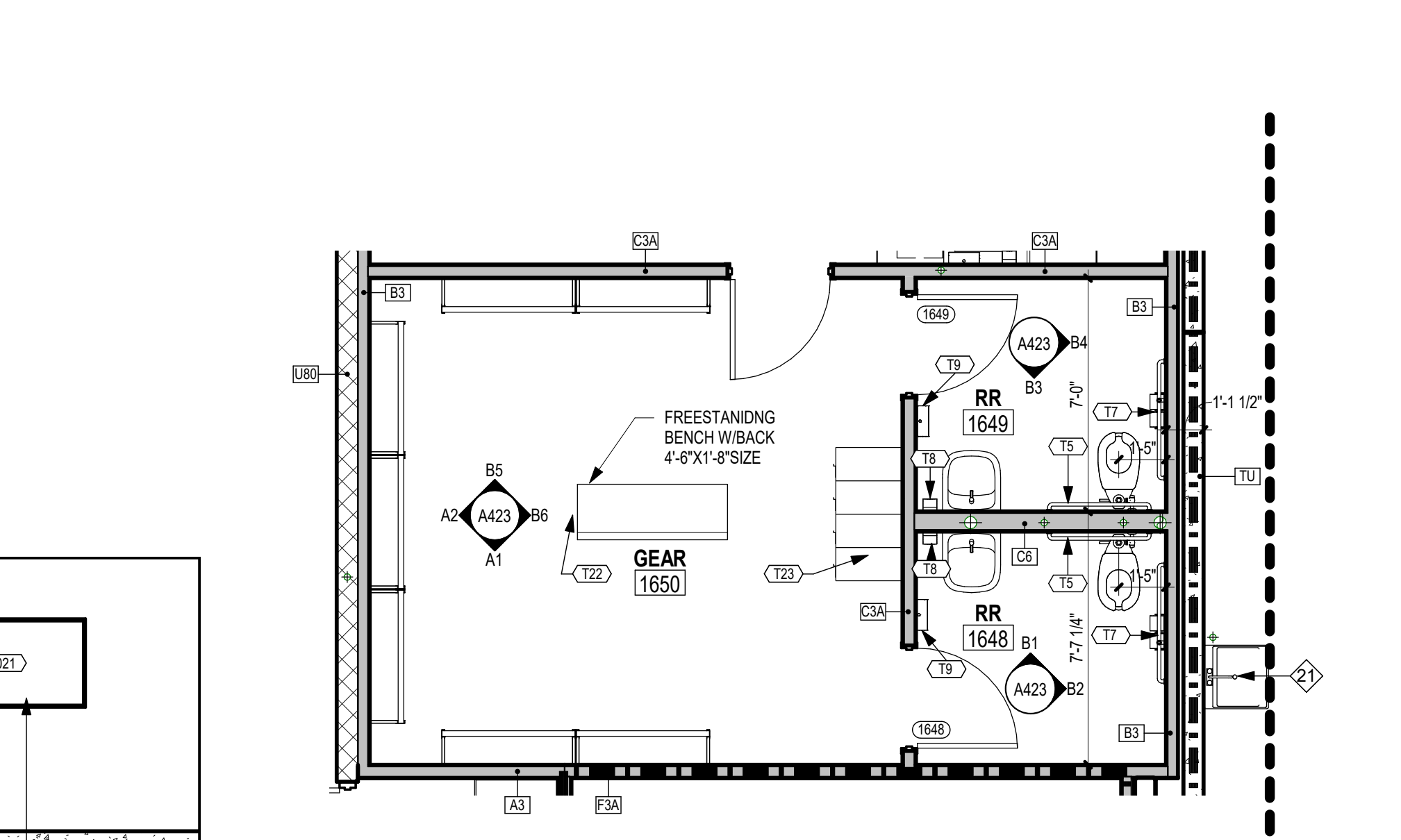
NOTES:
 1. REFER TO SHEET A 410 FOR INTERIOR ELEVATION KEYED NOTES
 2. REFER TO SHEET A111 FOR FLOOR PLAN KEYED NOTES



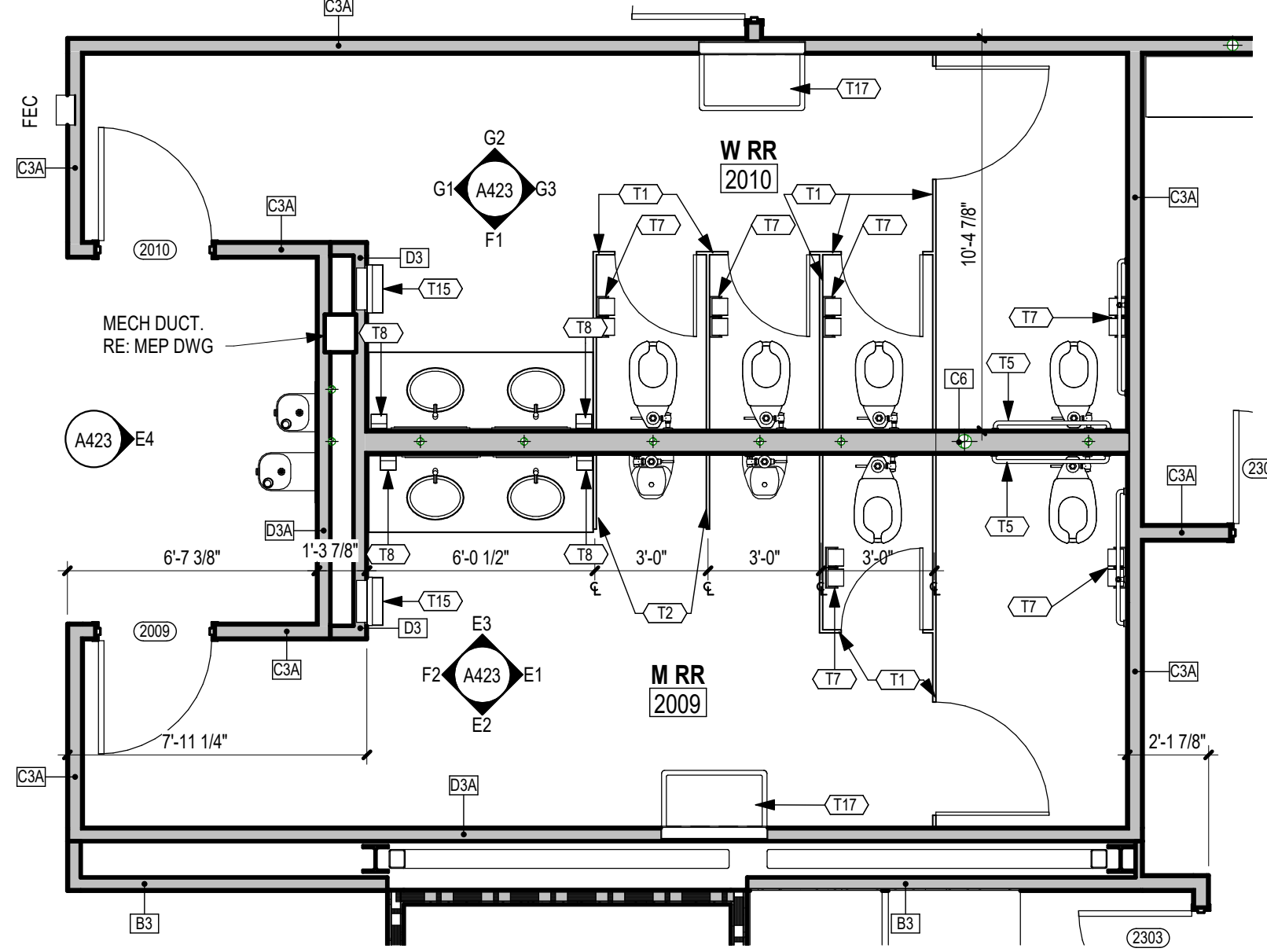
D5 M / W LOCKER-1610 & 1611 - ENLARGED PLAN
 1/4" = 1'-0"



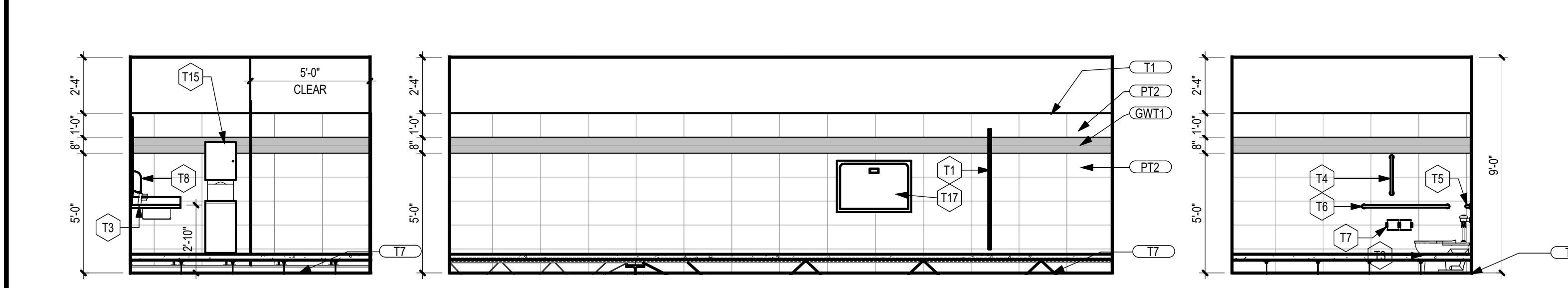
C5 CORR-1608 - EAST
 1/4" = 1'-0"



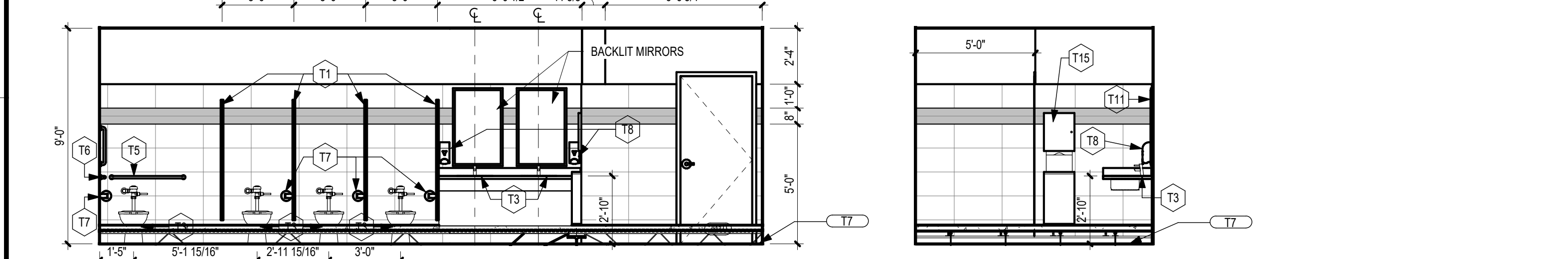
A6 GEAR -1650 / RR-1648 & 1649 - ENLARGED PLAN
 1/4" = 1'-0"



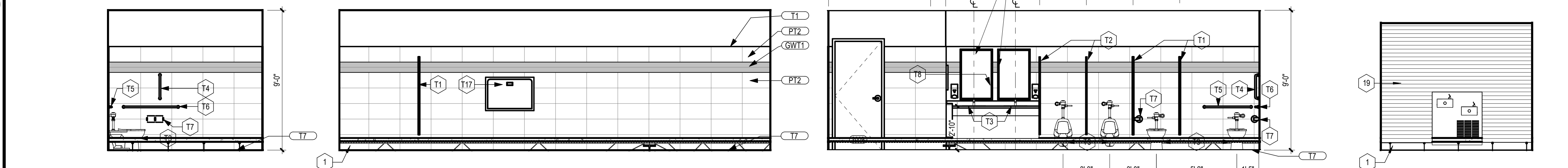
F4 RR-2010 & 2009 - ENLARGED PLAN
 1/4" = 1'-0"



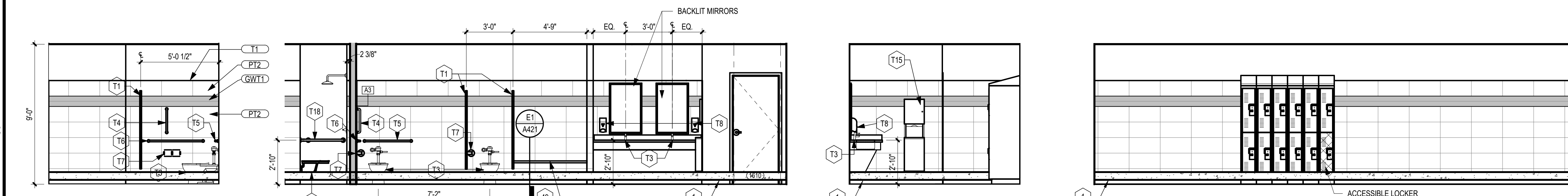
G1 W RR-2010 - EAST
 1/4" = 1'-0"
G2 W RR-2010 - SOUTH
 1/4" = 1'-0"
G3 W RR-2010 - WEST
 1/4" = 1'-0"



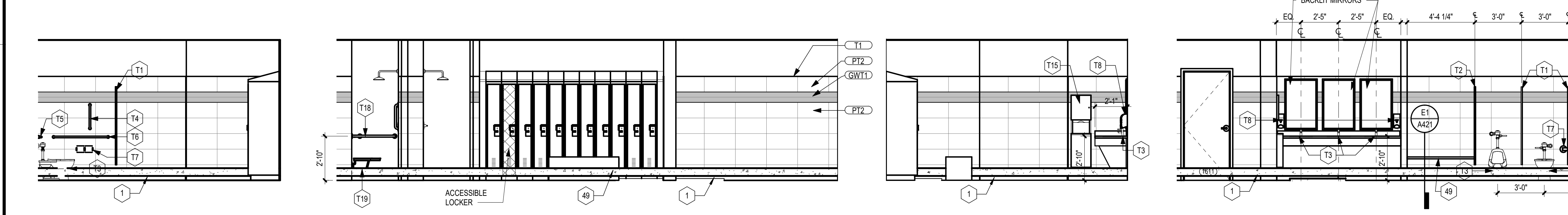
F1 W RR-2010 - NORTH
 1/4" = 1'-0"
F2 M RR-2009 - EAST
 1/4" = 1'-0"



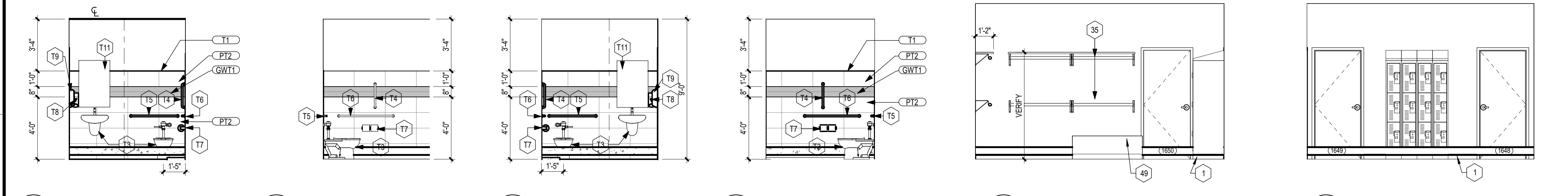
E1 M RR-2009 - WEST
 1/4" = 1'-0"
E2 M RR-2009 - NORTH
 1/4" = 1'-0"
E3 M RR-2009 - SOUTH
 1/4" = 1'-0"
E4 CORR-2011 - WEST
 1/4" = 1'-0"



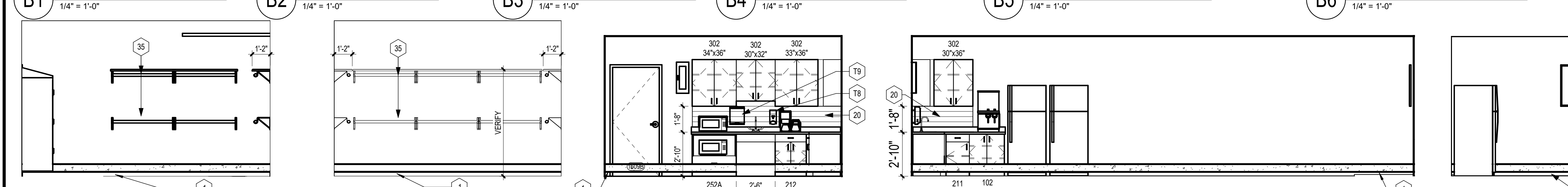
D1 W LOCKER-1610 - EAST
 1/4" = 1'-0"
D2 W LOCKER-1610 - SOUTH
 1/4" = 1'-0"
D3 W LOCKER-1610 - WEST
 1/4" = 1'-0"
D4 W LOCKER-1610 - NORTH
 1/4" = 1'-0"



C1 M LOCKER-1611 - EAST
 1/4" = 1'-0"
C2 M LOCKER-1611 - SOUTH
 1/4" = 1'-0"
C3 M LOCKER-1611 - WEST
 1/4" = 1'-0"
C4 M LOCKER-1611 - NORTH
 1/4" = 1'-0"



B1 RR-1648 - SOUTH
 1/4" = 1'-0"
B2 RR-1648 - WEST
 1/4" = 1'-0"
B3 RR-1649 - NORTH
 1/4" = 1'-0"
B4 RR-1649 - WEST
 1/4" = 1'-0"
B5 GEAR-1650 - SOUTH
 1/4" = 1'-0"
B6 GEAR-1650 - WEST
 1/4" = 1'-0"



A1 GEAR-1650 - NORTH
 1/4" = 1'-0"
A2 GEAR-1650 - EAST
 1/4" = 1'-0"
A3 STAFF LOUNGE-1609 - WEST
 1/4" = 1'-0"
A4 STAFF LOUNGE-1609 - NORTH
 1/4" = 1'-0"
A5 STAFF LOUNGE -1609 -EAST
 1/4" = 1'-0"

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SCCAD HEADQUARTERS
 ST. PETERS, MISSOURI
 2000 SALT RIVER ROAD
 Proposed:
TOILET/LOCKER PLANS & ELEV.

Project No. 18007
 Sheet No. **A423**
 Date: 12/02/2019

SCALE: 1/4" = 1'-0"
 SCALE: 1/2" = 1'-0"
 SCALE: 3/4" = 1'-0"
 SCALE: 1" = 1'-0"
 SCALE: 3/8" = 1'-0"
 SCALE: 1/8" = 1'-0"
 SCALE: 3/32" = 1'-0"
 SCALE: 1/16" = 1'-0"
 12/18/2019 5:24:57 PM
 C:\Users\jgallagher\OneDrive\SCCAD_R19_jgallagher\FV1

TOILET ACCESSORY SCHEDULE

MARK NUMBER	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	MATERIAL	FINISH	REMARKS
T1	TOILET & SHOWER PARTITION SOLID PHENOLIC	ASI	-	BLACK CORE PHENOLIC	CUSTOM SEE FIN SCHED	1 & 4
T2	URINAL SCREEN SOLID PHENOLIC	ASI	-	BLACK CORE PHENOLIC	CUSTOM SEE FIN SCHED	1 & 4
T3	PLUMBING FIXTURE	-	-	-	-	2
T4	VERTICAL GRAB BAR 18" L X 1 1/2" ø	BOBRICK	B-8006-18	STAINLESS STEEL	SATIN	4
T5	GRAB BAR 36" L X 1 1/2" ø	BOBRICK	B-8006-36	STAINLESS STEEL	SATIN	4
T6	GRAB BAR 42" L X 1 1/2" ø	BOBRICK	B-8006-42	STAINLESS STEEL	SATIN	4
T7	TOILET PAPER DISPENSER	BOBRICK	B-8667	HVY. DUTY CAST ALUM.	SATIN	4
T8	SOAP DISPENSER	-	-	-	-	6
T9	PAPER TOWEL DISPENSER	BOBRICK	B-262	STAINLESS STEEL	SATIN	4
T10	DOUBLE ROSE HOOK	BOBRICK	B-7627	STAINLESS STEEL	SATIN	3
T11	MIRROR W/ S.S. CHANNEL FRAME	BOBRICK	B-165-1836	STAINLESS STEEL	SATIN	4
T12	SANITARY NAPKIN DISPOSAL RECEPTACLE	BOBRICK	B-254	STAINLESS STEEL	SATIN	4
T13	SURFACE MTD. NAPKIN/TAMPON VENDOR	BOBRICK	B-282-25	STAINLESS STEEL	SATIN	4
T14	MOP AND BROOM HOLDER	BOBRICK	B-223-36	STAINLESS STEEL	SATIN	4
T15	RECESSED PAPER TOWEL DISP. IN WASTE	BOBRICK	B-3644	STAINLESS STEEL	SATIN	4
T16	LAVATORY MOUNTED SOAP DISPENSER	BOBRICK	B-8226	STAINLESS STEEL	SATIN	4
T17	SOAP DISPENSER	BOBRICK	B-8226	STAINLESS STEEL	SATIN	4
T18	SHOWER GRAB BAR	BOBRICK	B-8661	STAINLESS STEEL	SATIN	4
T19	SHOWER SEAT	BOBRICK	B-5181	SOLID PHENOLIC	SATIN	4
T20	3-COAT HOOK STRIP	MAGNUSON GROUP	3C215	BLACK LAMINATE PANEL	SATIN ALUMINUM	5
T21	SPECIMEN PASS THROUGH	BOBRICK	B-866	STAINLESS STEEL	SATIN	4
T22	SOLID PHENOLIC BENCH	CUSTOM	-	SOLID PHENOLIC	SEE DETAILS	
T23	METAL LOCKERS	GLOBAL	-	POWDER COATED STEEL		

TOILET ACCESSORIES REMARKS:
 1. SEE SPECIFICATIONS FOR TOILET PARTITIONS AND/OR URINAL SCREENS.
 2. SEE PLUMBING DRAWINGS FOR PLUMBING FIXTURE SPECIFICATIONS.
 3. ROSE HOOKS TO BE INSTALLED ON ALL PARTITION DOOR @ 96" A.F. OR ON TOILET ROOM DOOR IN SINGLE OCCUPANCY TOILET ROOMS.
 4. PROVIDE BLOCKING AT ALL TOILET PARTITIONS, URINAL SCREENS, GRAB BARS AND ACCESSORIES WHICH ARE WALL MOUNTED.
 5. THREE-HOOK STRIP TO BE INSTALLED ALL OFFICES ON WALL BEHIND DOOR.
 6. SOAP DISPENSERS WILL BE OWNER PROVIDED, CONTRACTOR INSTALLED.

NOTES:
 1. REFER TO SHEET A410 FOR INTERIOR ELEVATION KEYED NOTES
 2. REFER TO SHEET A111 FOR FLOOR PLAN KEYED NOTES

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SCCAD HEADQUARTERS

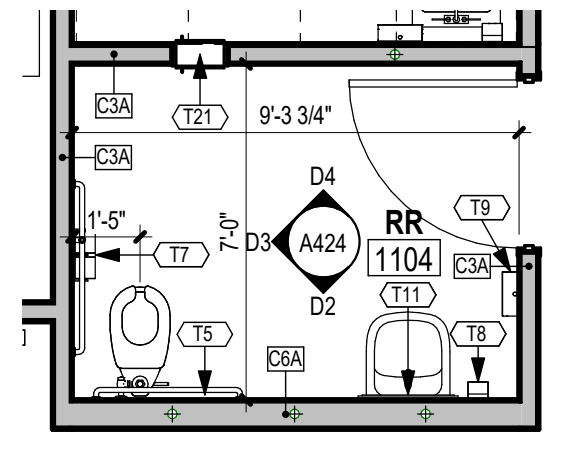
ST. PETERS, MISSOURI
 2000 SALT RIVER ROAD

TOILET/LOCKER ELEV/CASE DETAILS

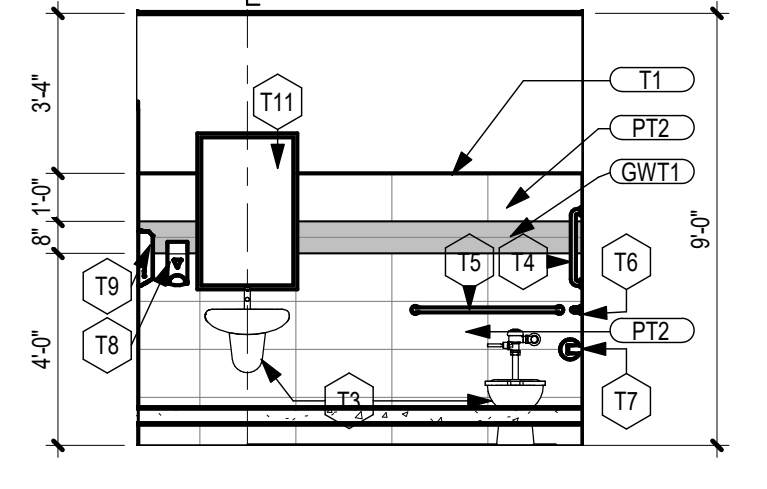
Proposed:

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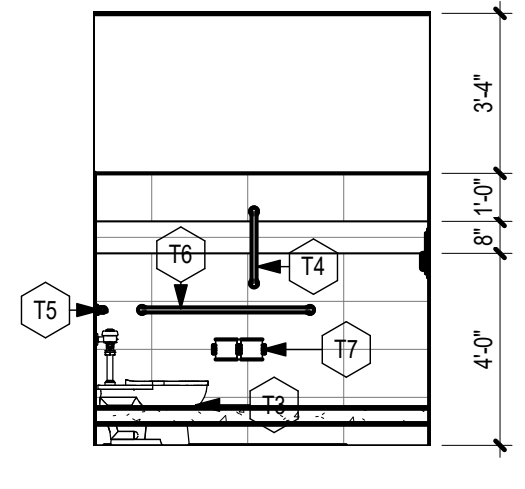
Project No. 18007
 Sheet No. **A424**
 Date: 12/02/2019



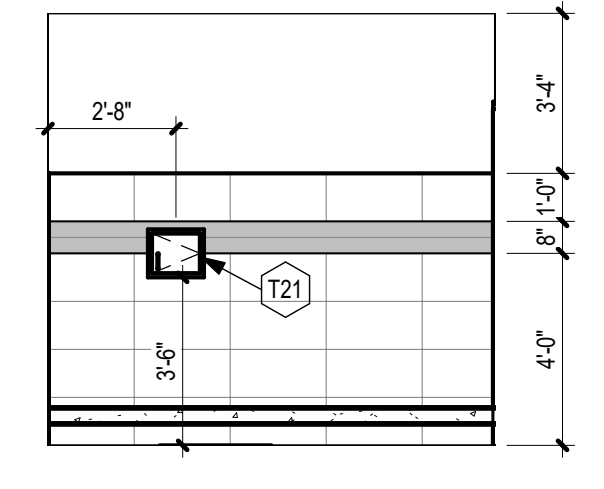
D1 RR-1104 - ENLARGED PLAN
 1/4" = 1'-0"



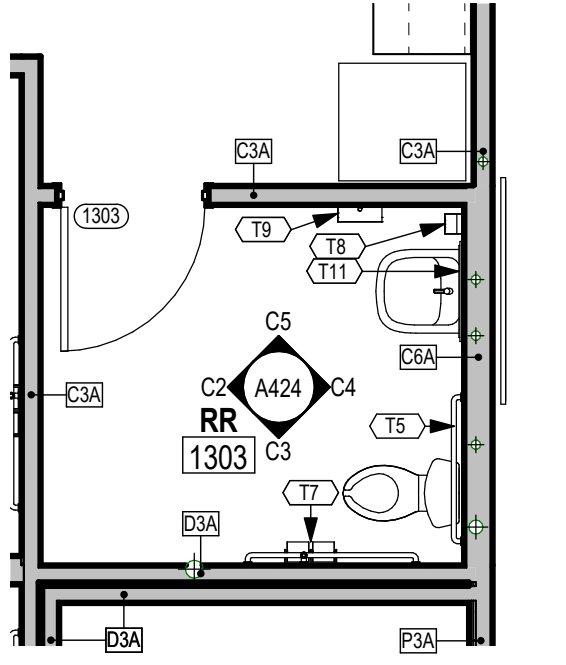
D2 RR-1104-SOUTH
 1/4" = 1'-0"



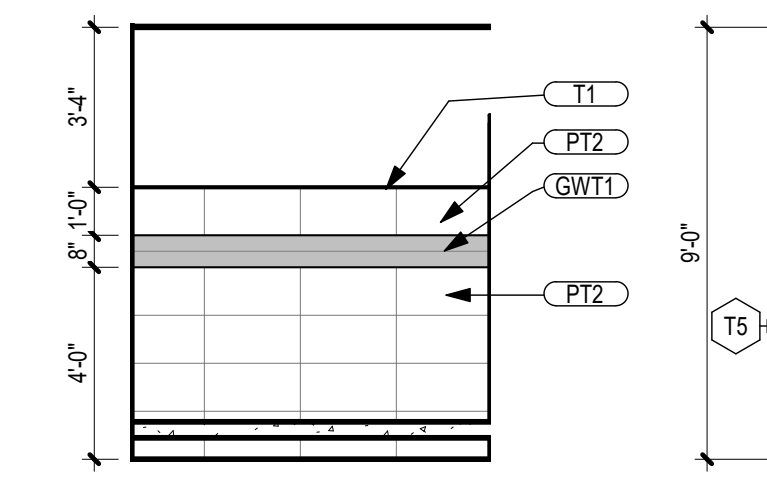
D3 RR-1104-WEST
 1/4" = 1'-0"



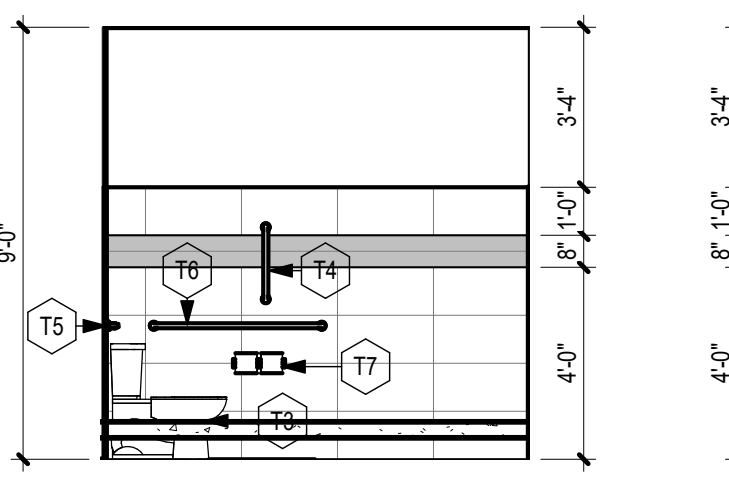
D4 RR-1104-NORTH
 1/4" = 1'-0"



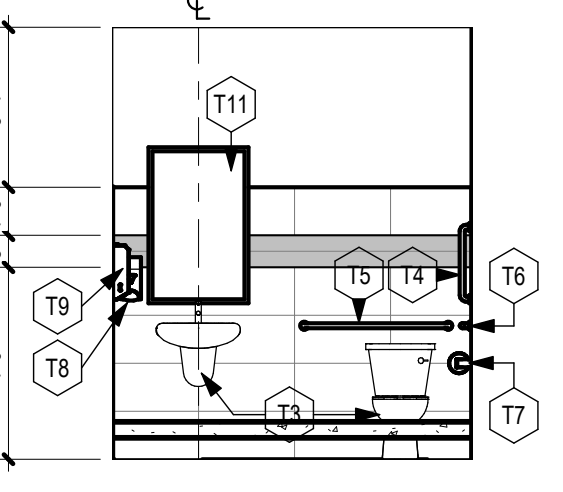
C1 RR-1303 - ENLARGED PLAN
 1/4" = 1'-0"



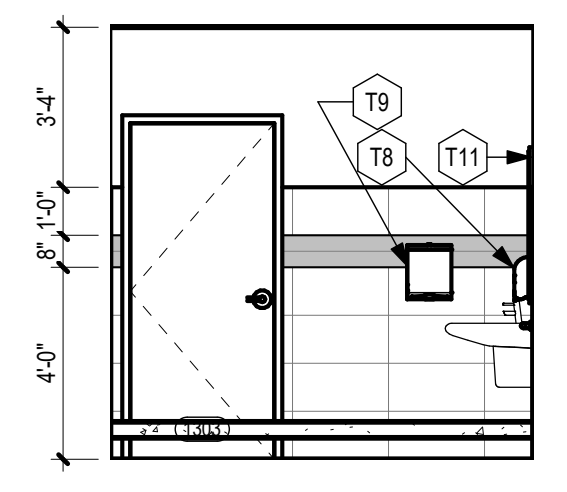
C2 RR-1303 - EAST
 1/4" = 1'-0"



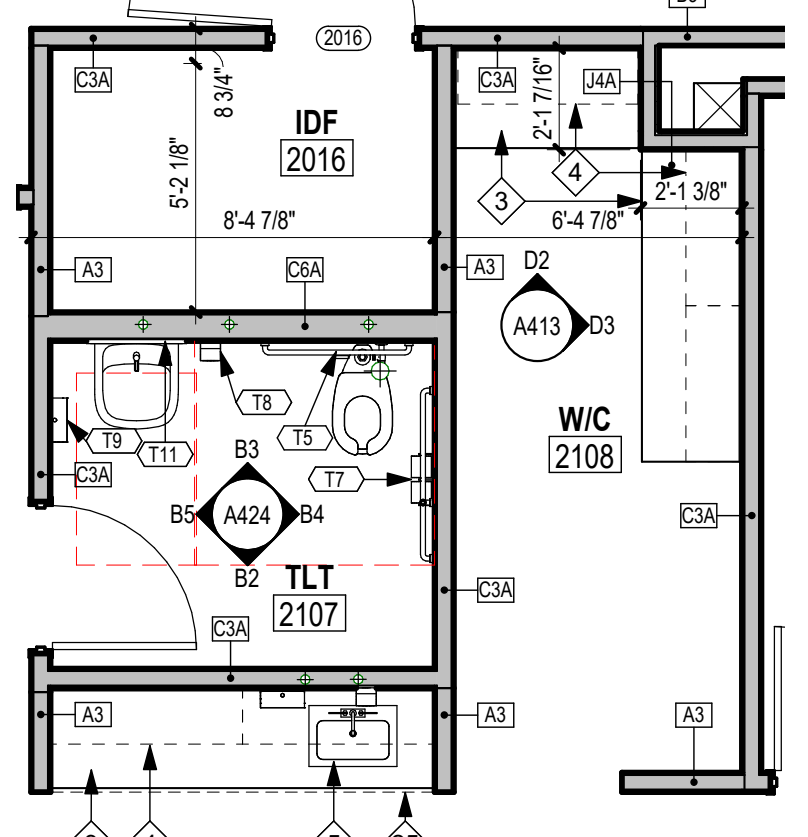
C3 RR-1303 - NORTH
 1/4" = 1'-0"



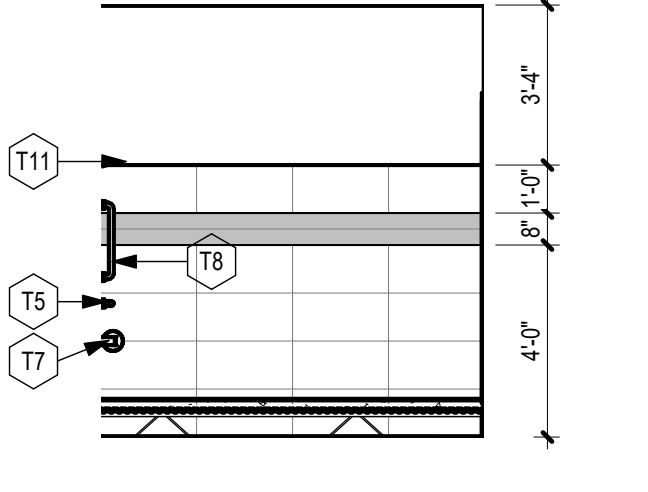
C4 RR-1303 - WEST
 1/4" = 1'-0"



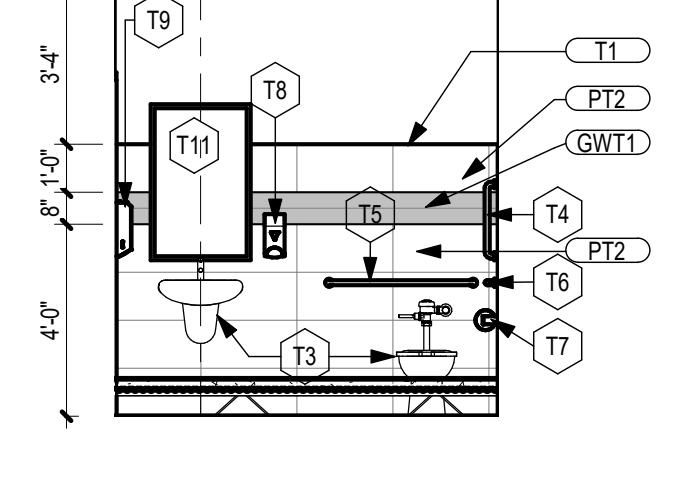
C5 RR-1303 - SOUTH
 1/4" = 1'-0"



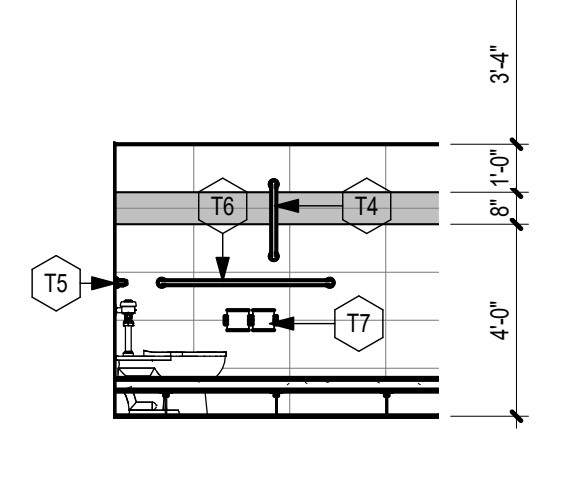
B1 RR-2107 - ENLARGED PLAN
 1/4" = 1'-0"



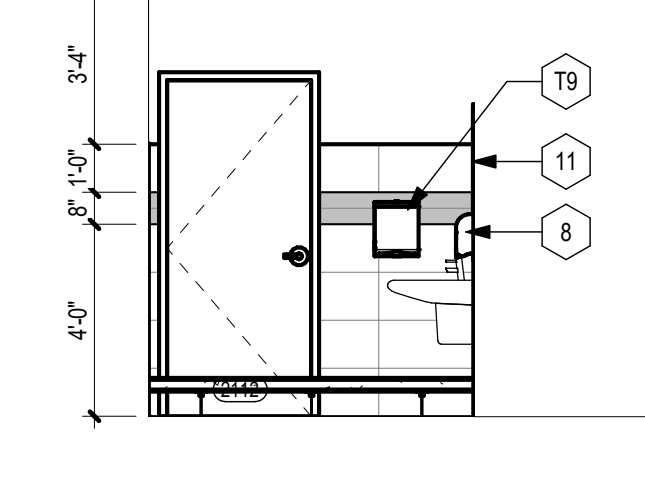
B2 RR-2107 - NORTH
 1/4" = 1'-0"



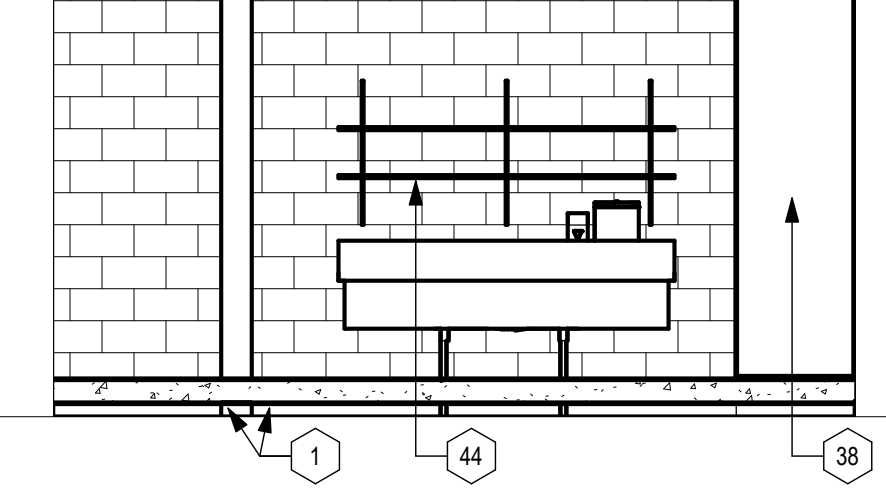
B3 RR-2107 - SOUTH
 1/4" = 1'-0"



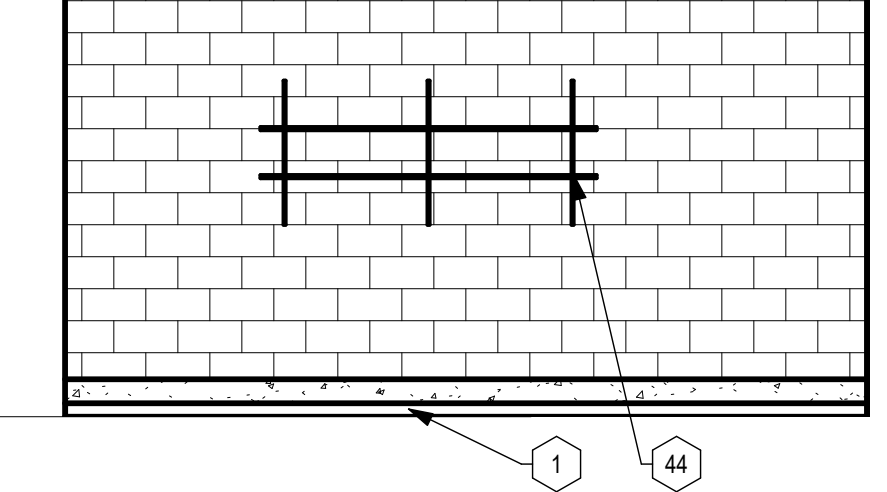
B4 RR-2107 - WEST
 1/4" = 1'-0"



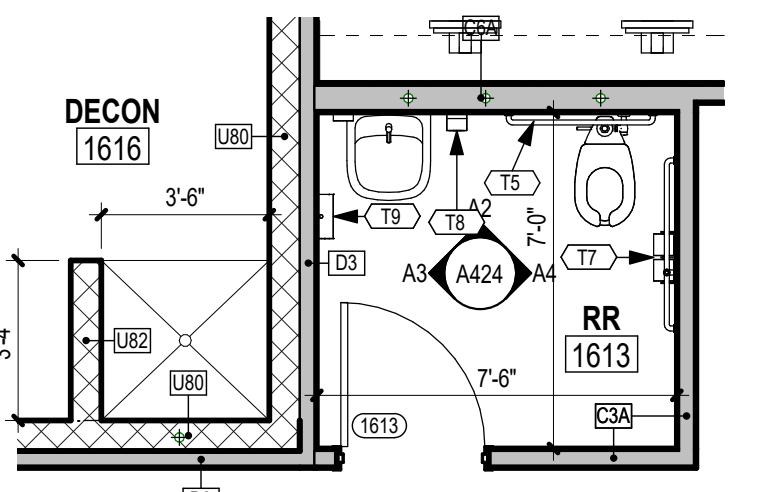
B5 RR-2107 - EAST
 1/4" = 1'-0"



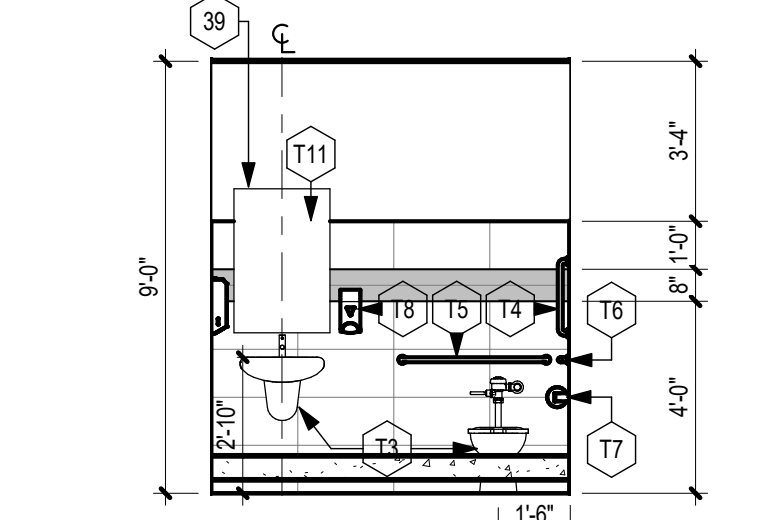
B6 DECON - 1616 N.
 1/4" = 1'-0"



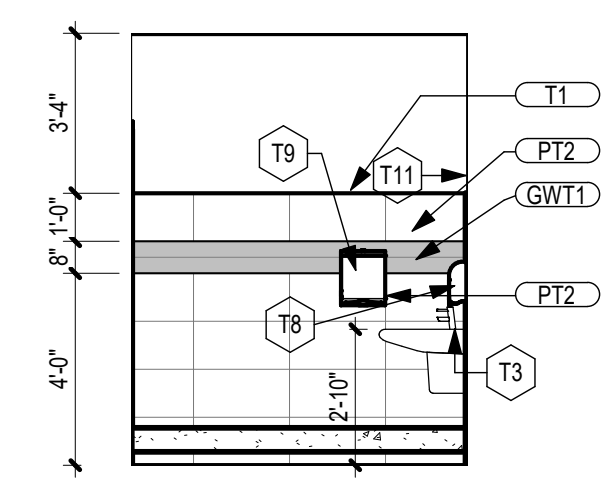
B7 DECON - 1616 S.
 1/4" = 1'-0"



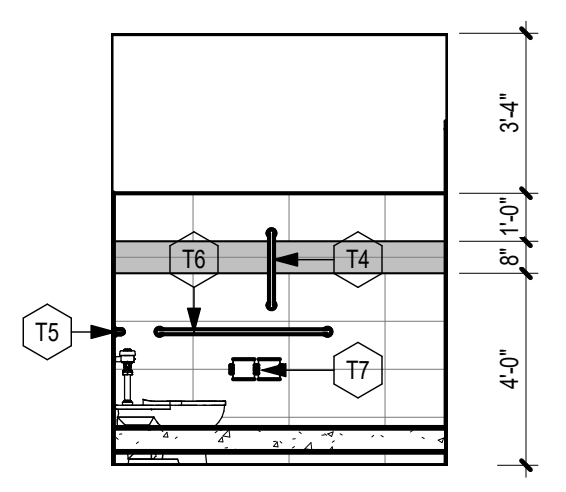
A1 RR-1613 - ENLARGED PLAN
 1/4" = 1'-0"



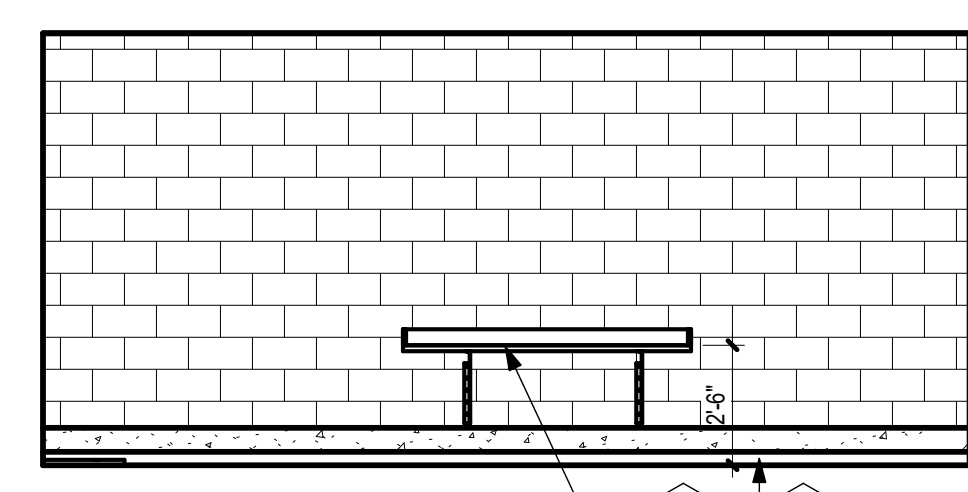
A2 RR-1613 - SOUTH
 1/4" = 1'-0"



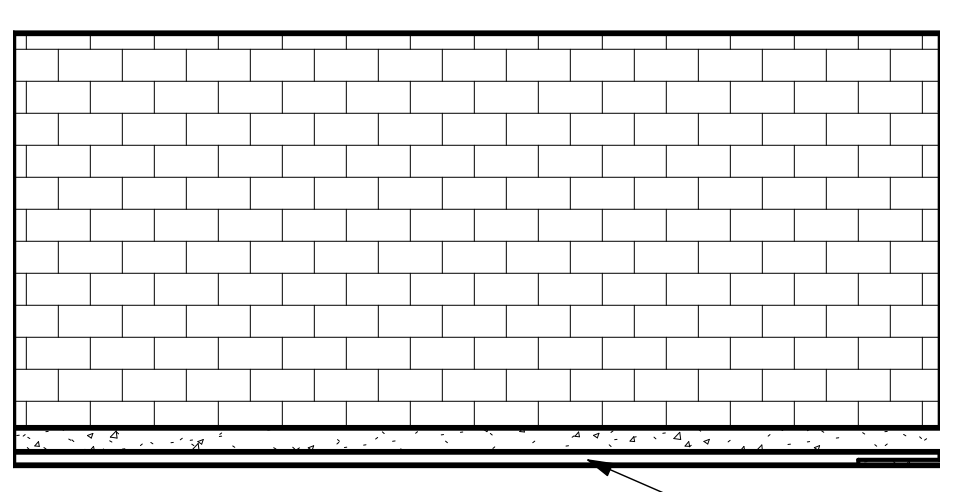
A3 RR-1613 EAST
 1/4" = 1'-0"



A4 RR-1613 WEST
 1/4" = 1'-0"

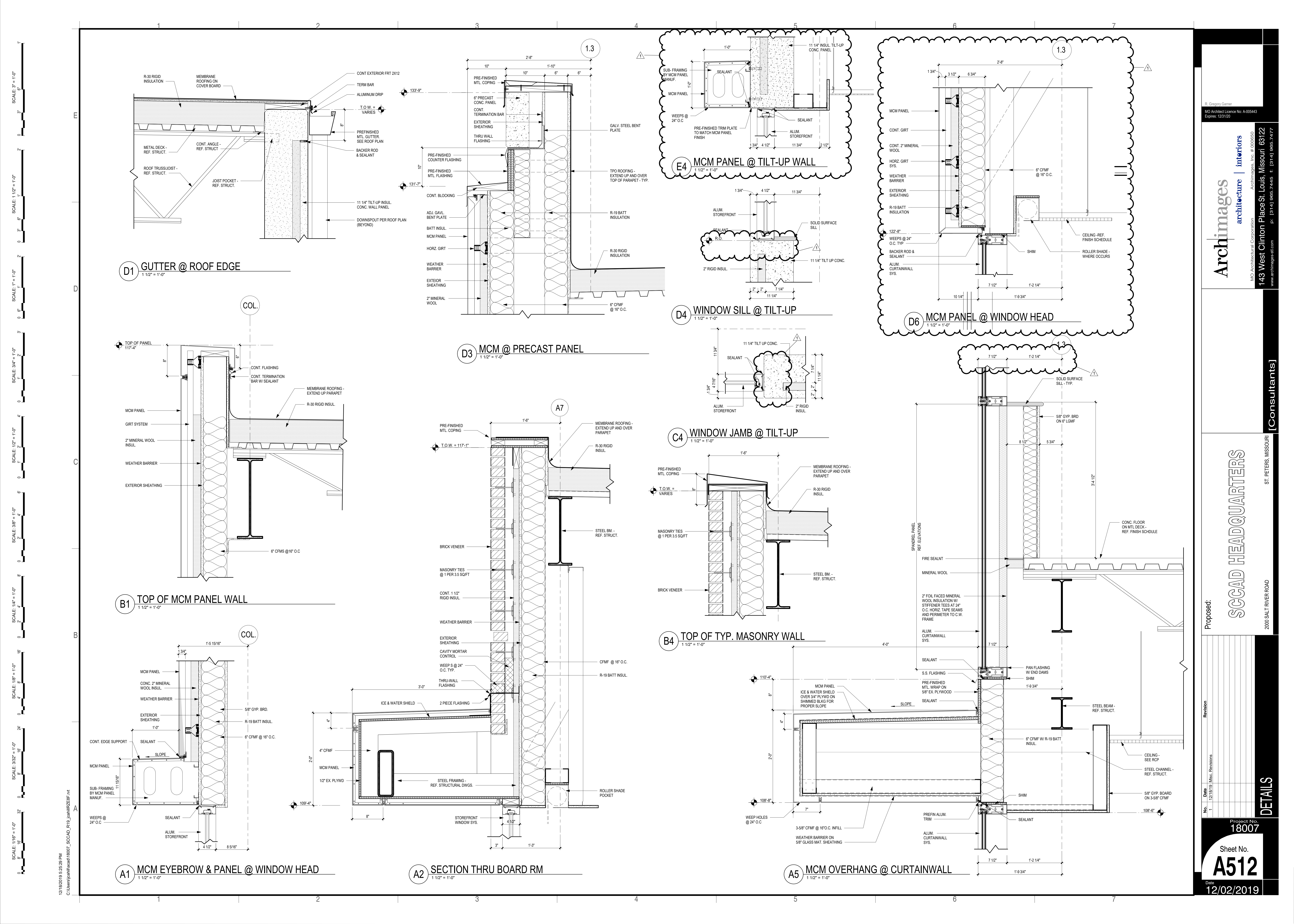


A5 OXYGEN - 1621 N.
 1/4" = 1'-0"



A6 OXYGEN - 1621 S.
 1/4" = 1'-0"

SCALE: 1/8" = 1'-0"
 SCALE: 1/4" = 1'-0"
 SCALE: 3/8" = 1'-0"
 SCALE: 1/2" = 1'-0"
 SCALE: 5/8" = 1'-0"
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 SCALE: 6 3/4" = 1'-0"
 SCALE: 7" = 1'-0"
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 SCALE: 8" = 1'-0"
 SCALE: 8 1/4" = 1'-0"
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 SCALE: 9" = 1'-0"
 SCALE: 9 1/4" = 1'-0"
 SCALE: 9 1/2" = 1'-0"
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 SCALE: 10" = 1'-0"
 SCALE: 10 1/4" = 1'-0"
 SCALE: 10 1/2" = 1'-0"
 SCALE: 10 3/4" = 1'-0"
 SCALE: 11" = 1'-0"
 SCALE: 11 1/4" = 1'-0"
 SCALE: 11 1/2" = 1'-0"
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 SCALE: 12" = 1'-0"
 SCALE: 12 1/4" = 1'-0"
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 SCALE: 18" = 1'-0"
 SCALE: 18 1/4" = 1'-0"
 SCALE: 18 1/2" = 1'-0"
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 SCALE: 19" = 1'-0"
 SCALE: 19 1/4" = 1'-0"
 SCALE: 19 1/2" = 1'-0"
 SCALE: 19 3/4" = 1'-0"
 SCALE: 20" = 1'-0"



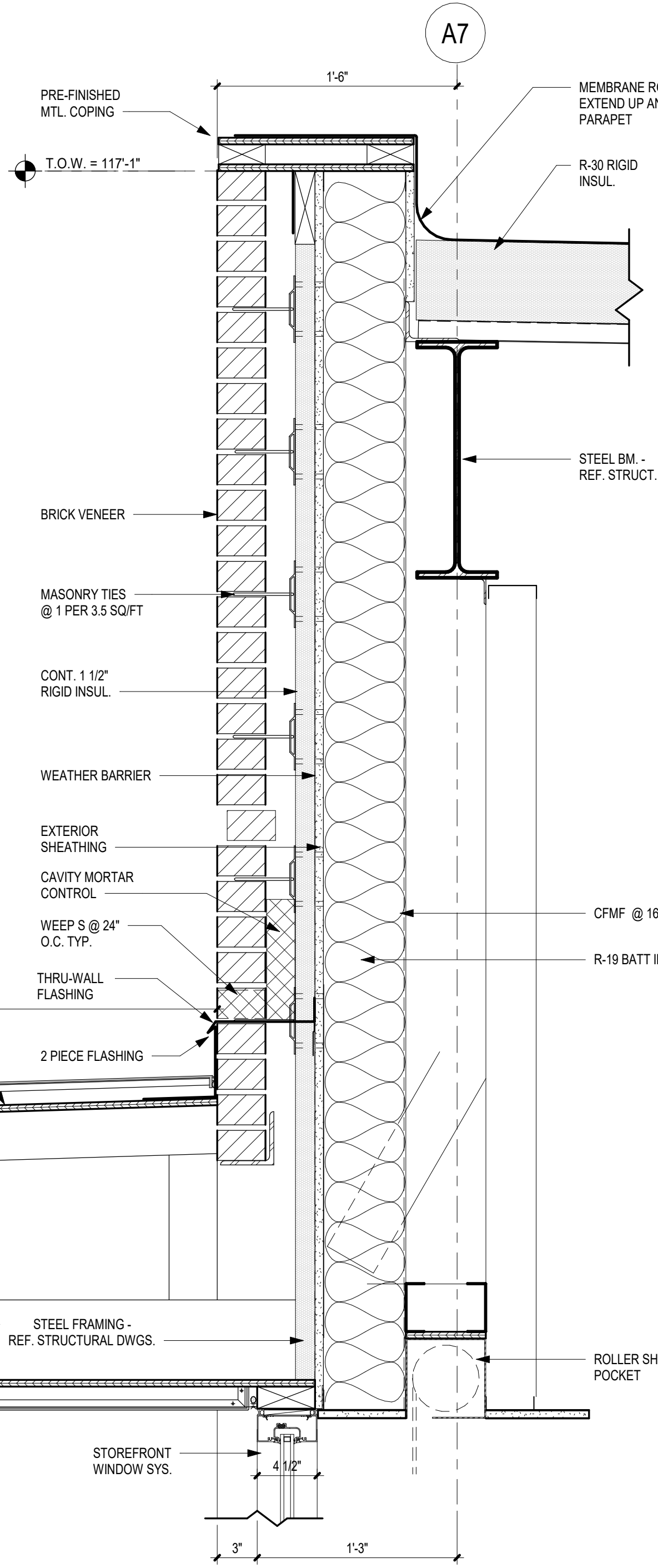
D1 GUTTER @ ROOF EDGE
1 1/2" = 1'-0"

D3 MCM @ PRECAST PANEL
1 1/2" = 1'-0"

D4 WINDOW SILL @ TILT-UP
1 1/2" = 1'-0"

D6 MCM PANEL @ WINDOW HEAD
1 1/2" = 1'-0"

B1 TOP OF MCM PANEL WALL
1 1/2" = 1'-0"



C4 WINDOW JAMB @ TILT-UP
1 1/2" = 1'-0"

B4 TOP OF TYP. MASONRY WALL
1 1/2" = 1'-0"

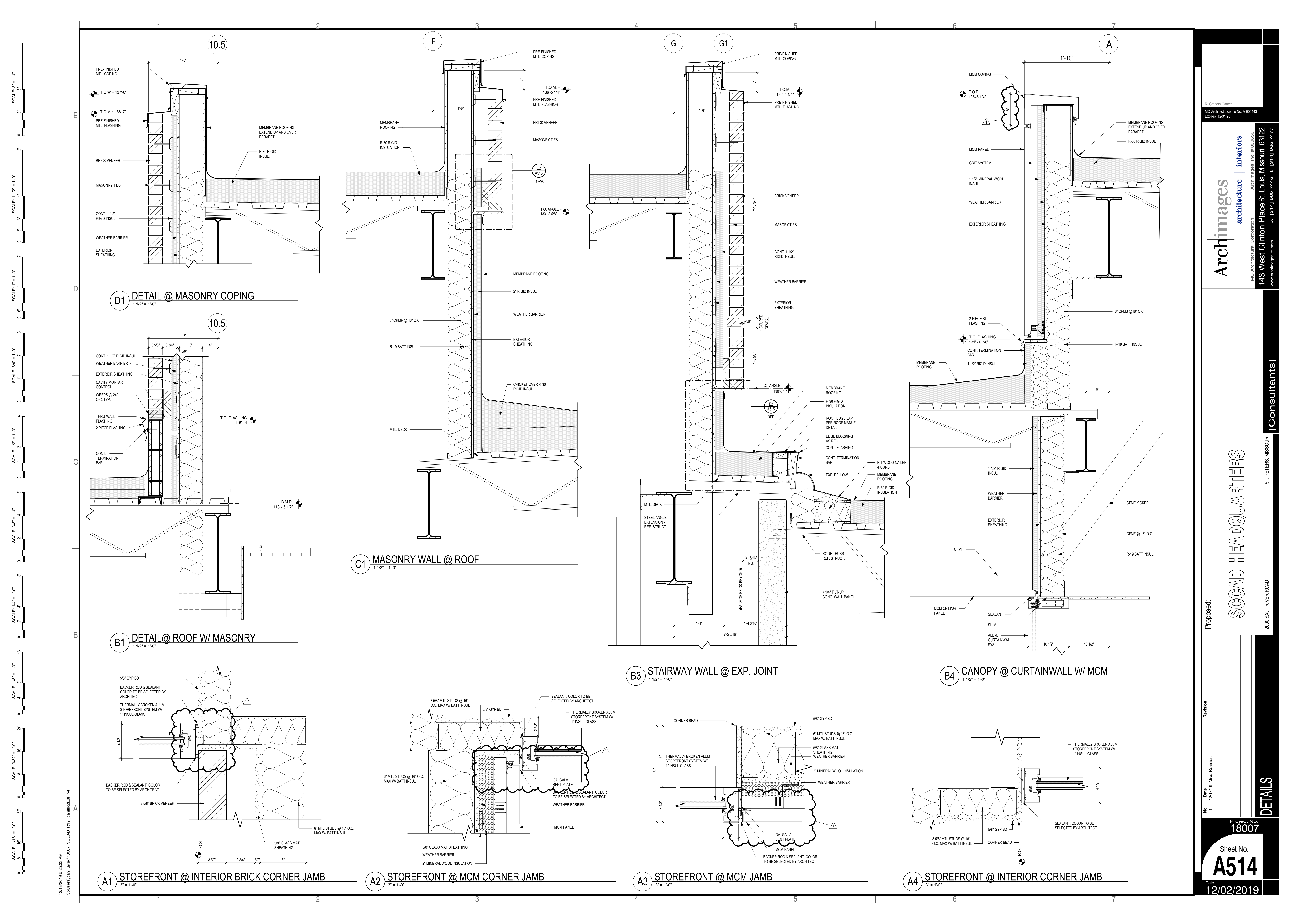
A1 MCM EYEBROW & PANEL @ WINDOW HEAD
1 1/2" = 1'-0"

A2 SECTION THRU BOARD RM
1 1/2" = 1'-0"

A5 MCM OVERHANG @ CURTAINWALL
1 1/2" = 1'-0"

SCALE: 1/2" = 1'-0"
SCALE: 1/2" = 1'-0"
SCALE: 3/4" = 1'-0"
SCALE: 1/2" = 1'-0"
SCALE: 3/8" = 1'-0"
SCALE: 1/2" = 1'-0"
SCALE: 1/4" = 1'-0"
SCALE: 1/8" = 1'-0"
SCALE: 3/32" = 1'-0"
SCALE: 1/16" = 1'-0"

12/18/2019 5:25:29 PM
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D1 DETAIL @ MASONRY COPING
1 1/2" = 1'-0"

B1 DETAIL @ ROOF W/ MASONRY
1 1/2" = 1'-0"

C1 MASONRY WALL @ ROOF
1 1/2" = 1'-0"

B3 STAIRWAY WALL @ EXP. JOINT
1 1/2" = 1'-0"

B4 CANOPY @ CURTAINWALL W/ MCM
1 1/2" = 1'-0"

A1 STOREFRONT @ INTERIOR BRICK CORNER JAMB
3" = 1'-0"

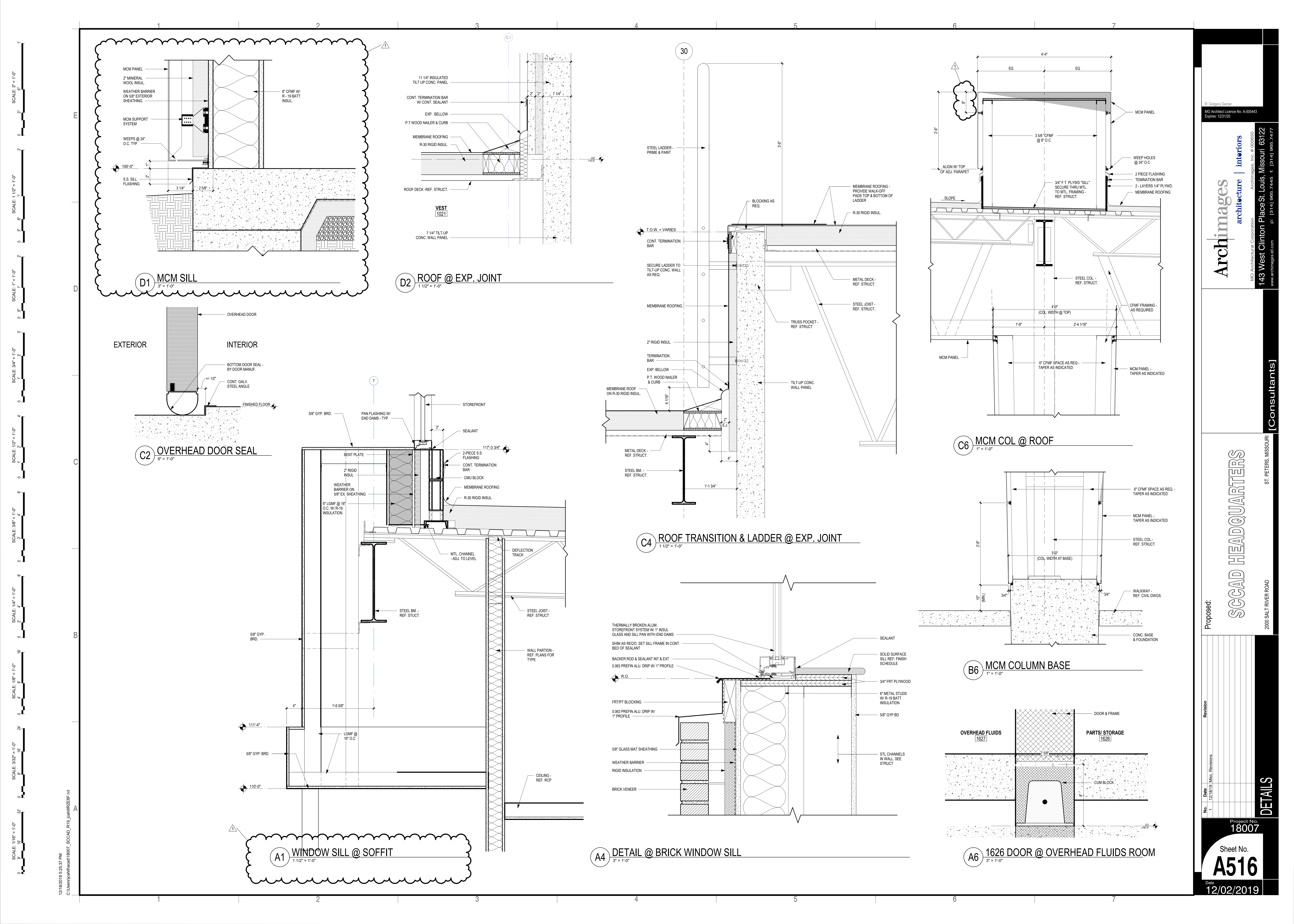
A2 STOREFRONT @ MCM CORNER JAMB
3" = 1'-0"

A3 STOREFRONT @ MCM JAMB
3" = 1'-0"

A4 STOREFRONT @ INTERIOR CORNER JAMB
3" = 1'-0"

No.	Date	By	Rev.
1	12/02/19	Misc. Revisions	

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12/18/2019 5:25:37 PM
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SCALE: 1/8" = 1'-0"
 SCALE: 1/4" = 1'-0"
 SCALE: 3/8" = 1'-0"
 SCALE: 1/2" = 1'-0"
 SCALE: 5/8" = 1'-0"
 SCALE: 3/4" = 1'-0"
 SCALE: 7/8" = 1'-0"
 SCALE: 1" = 1'-0"

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Proposed:

No.	Date	By	Rev.
1	12/18/19	JG	1

Project No. 18007
 Sheet No. A516
 Date 12/02/2019

R. Gregory Garner
 MO Architect License No. A-005443
 Expires 12/31/20

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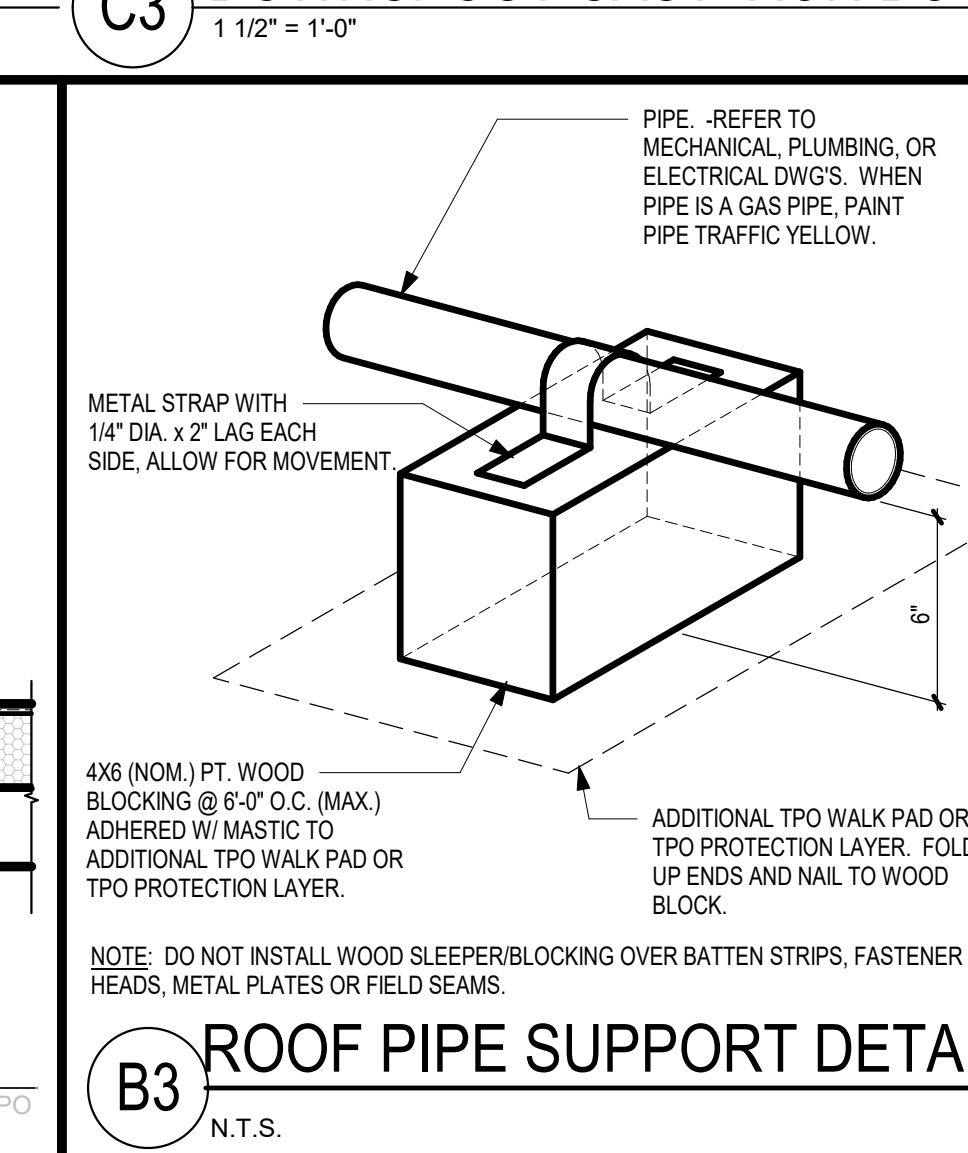
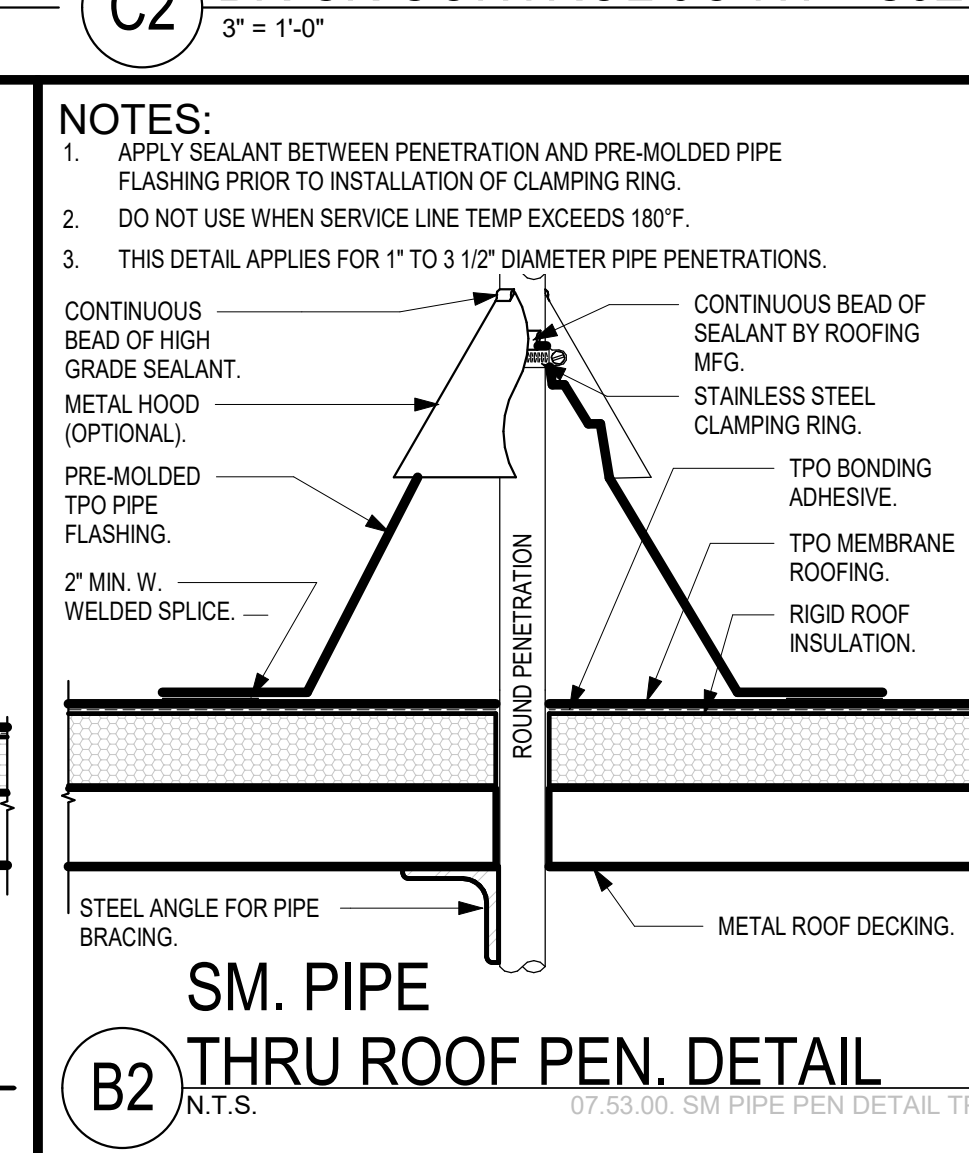
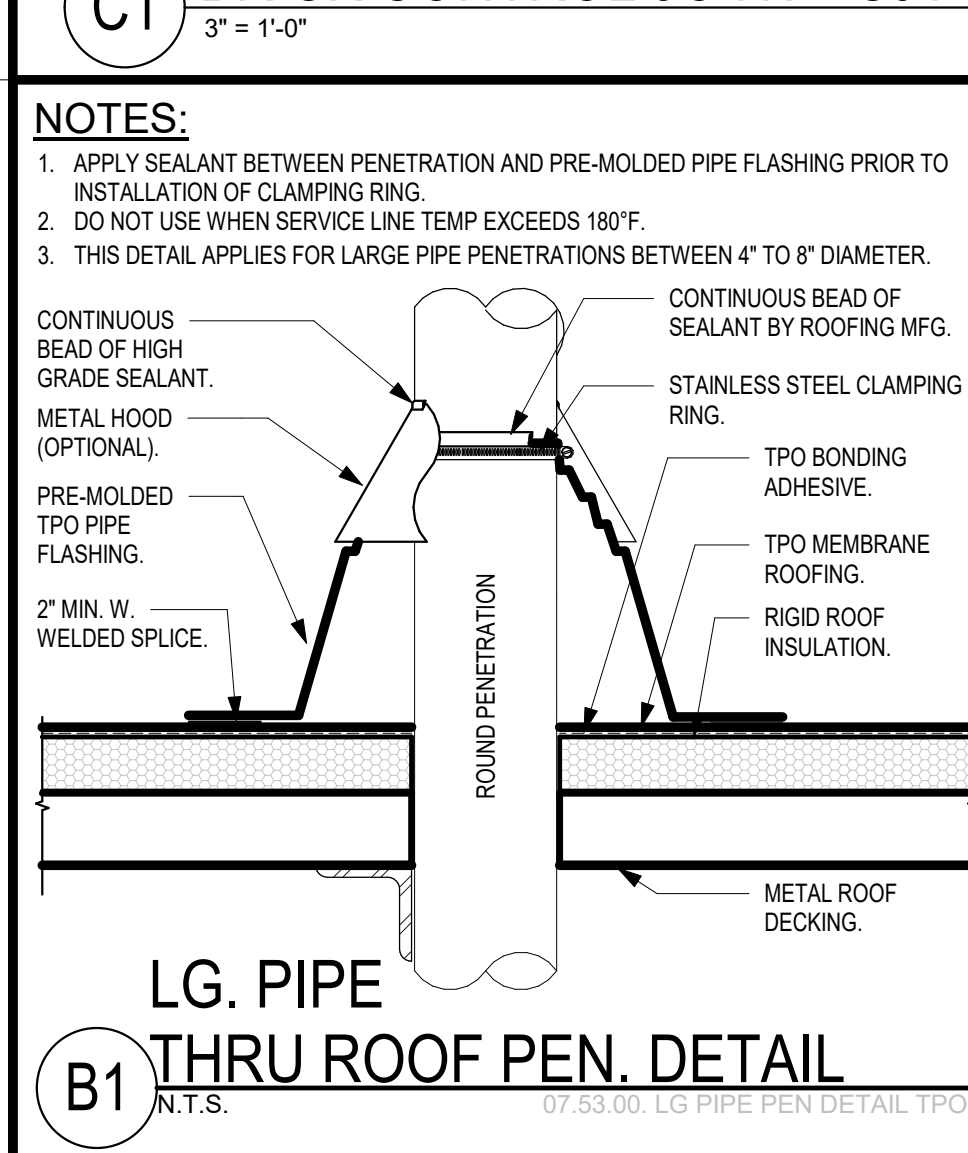
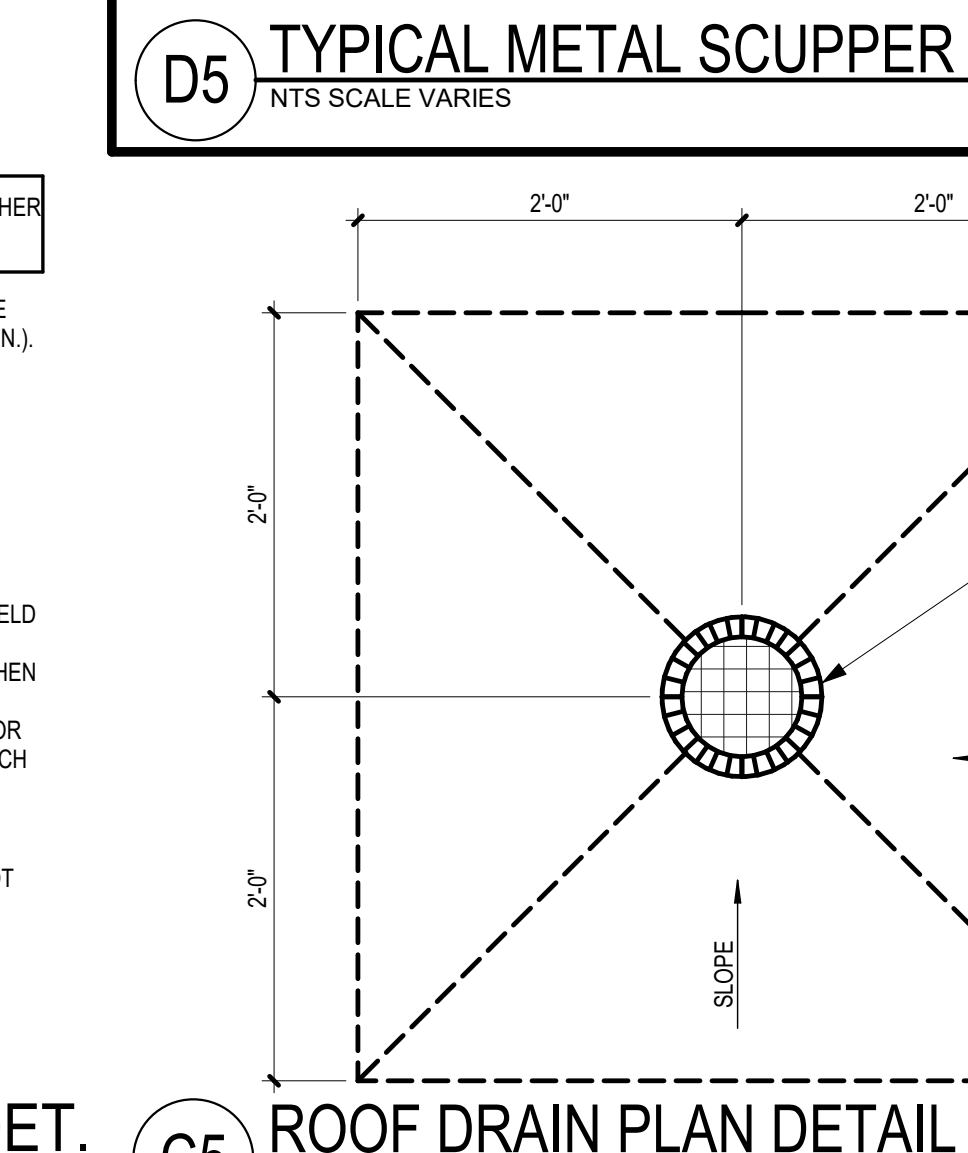
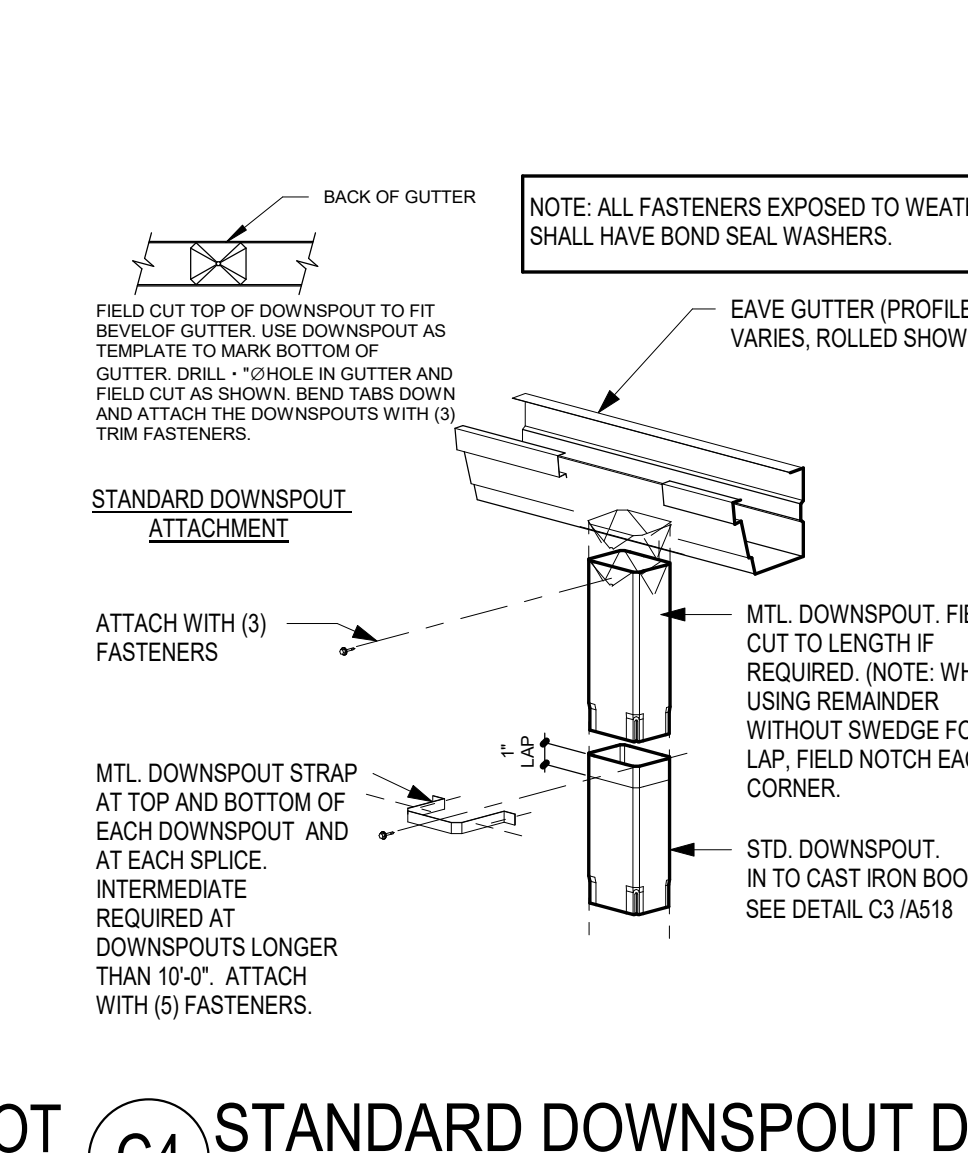
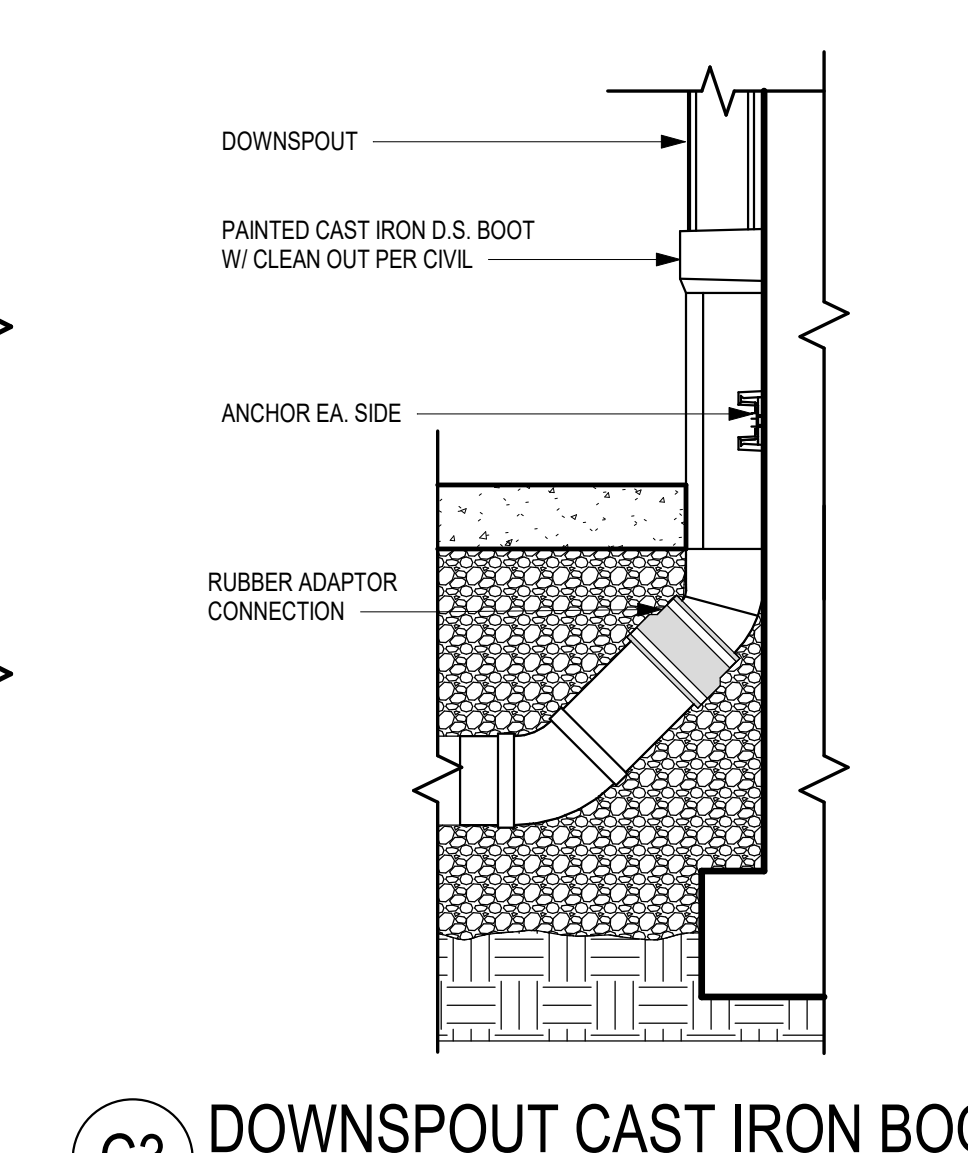
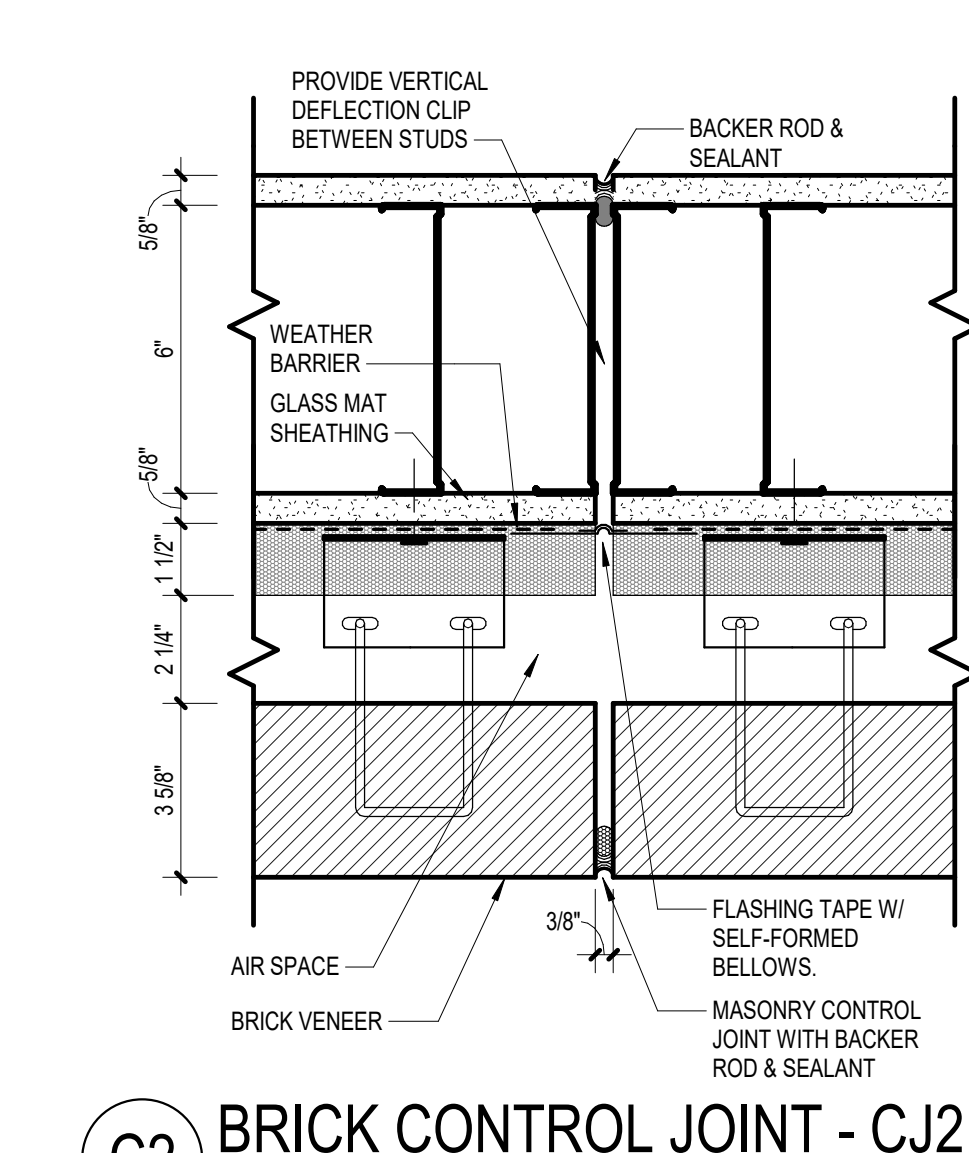
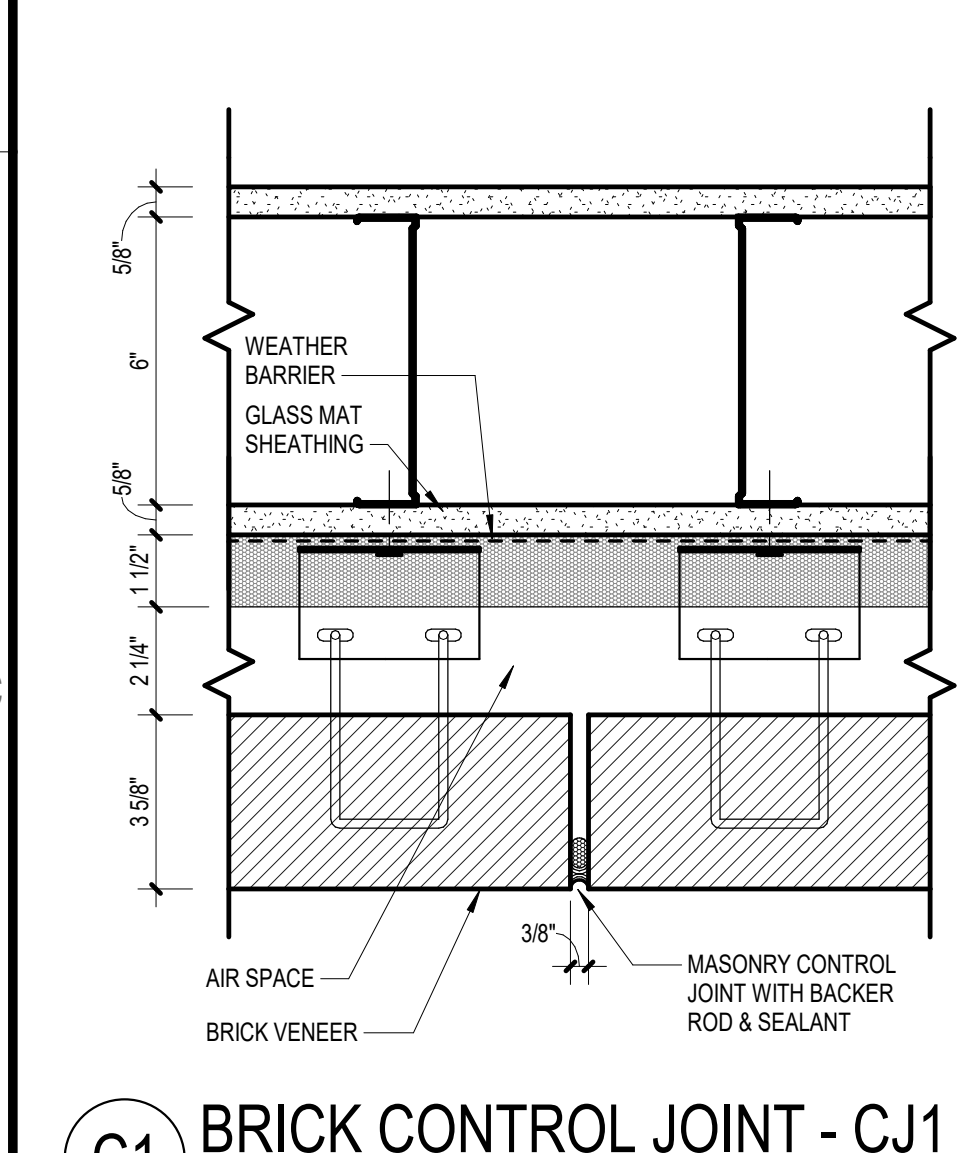
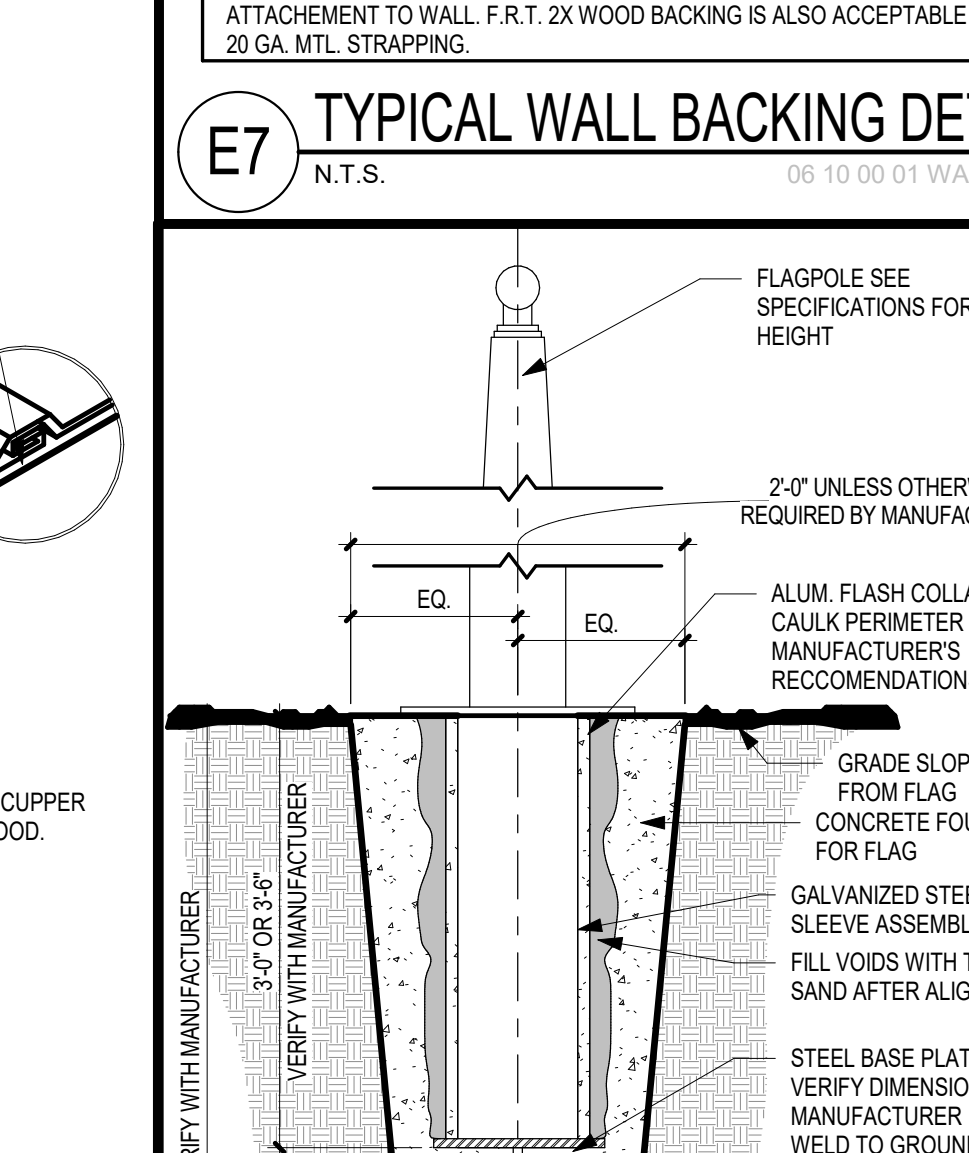
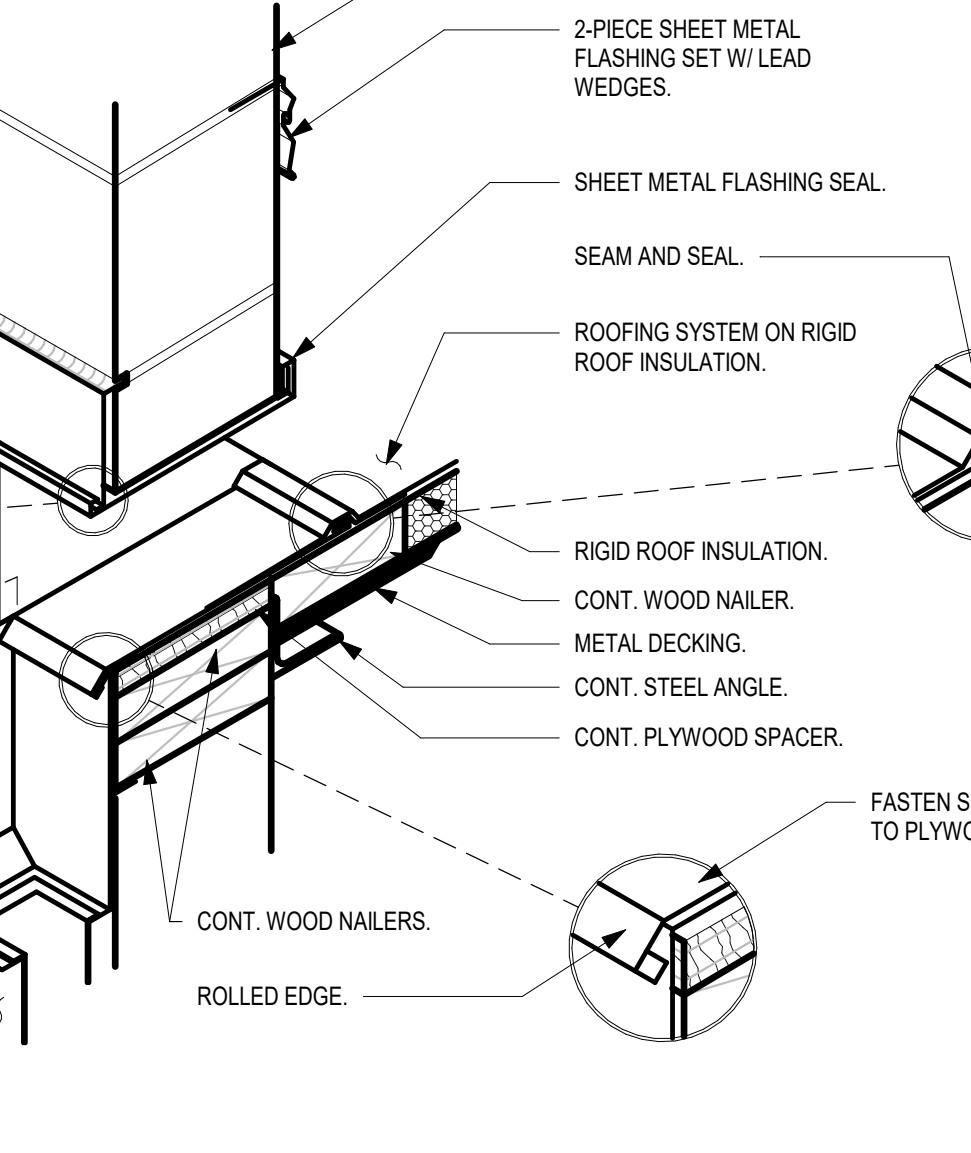
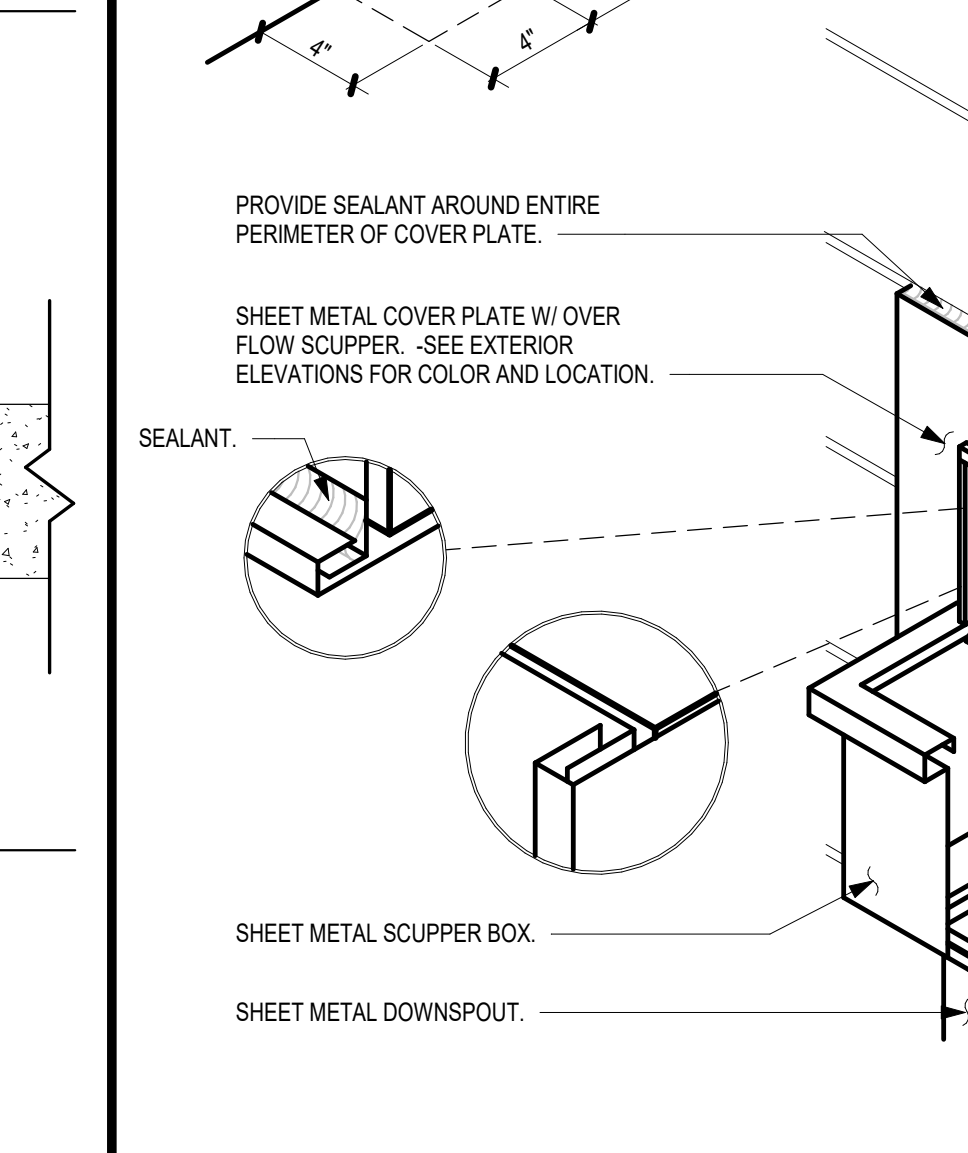
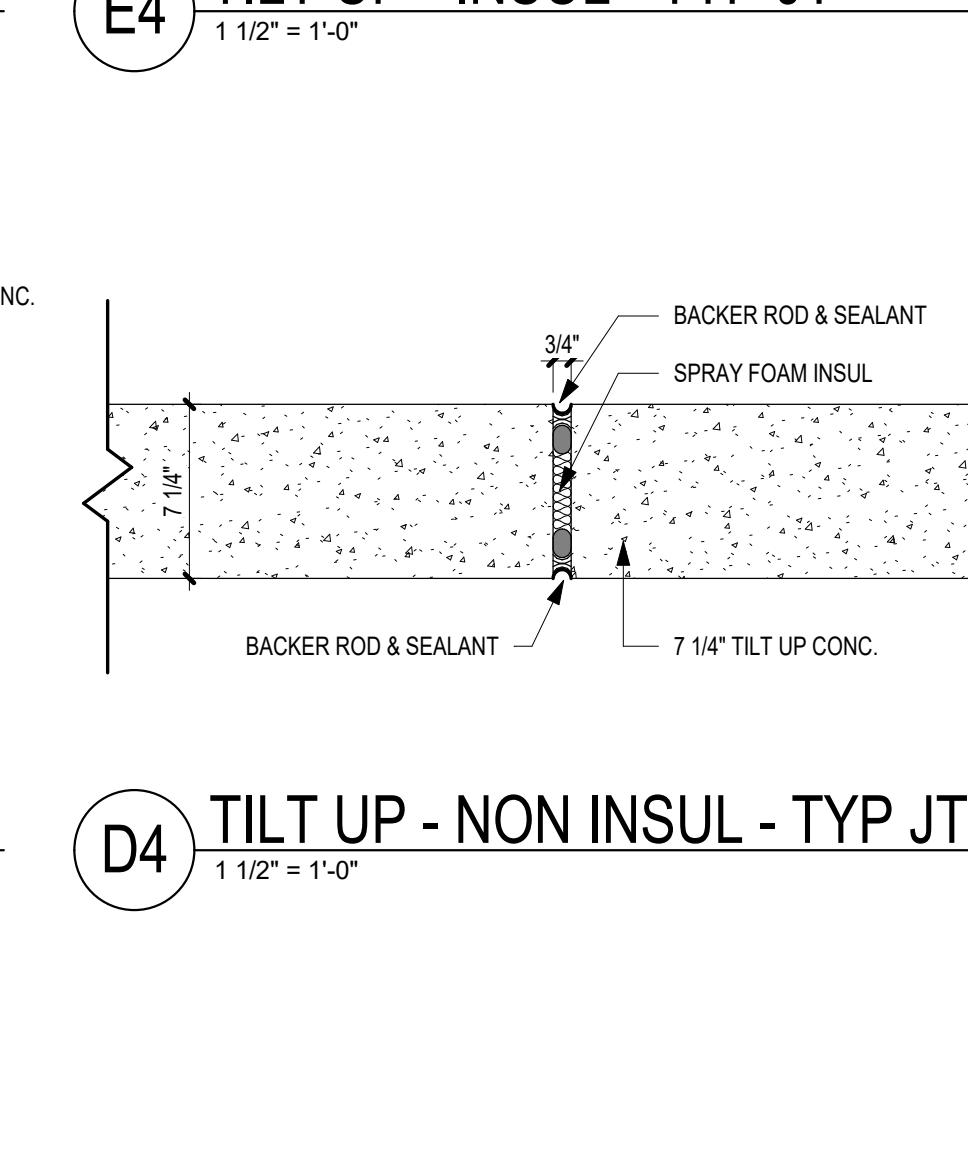
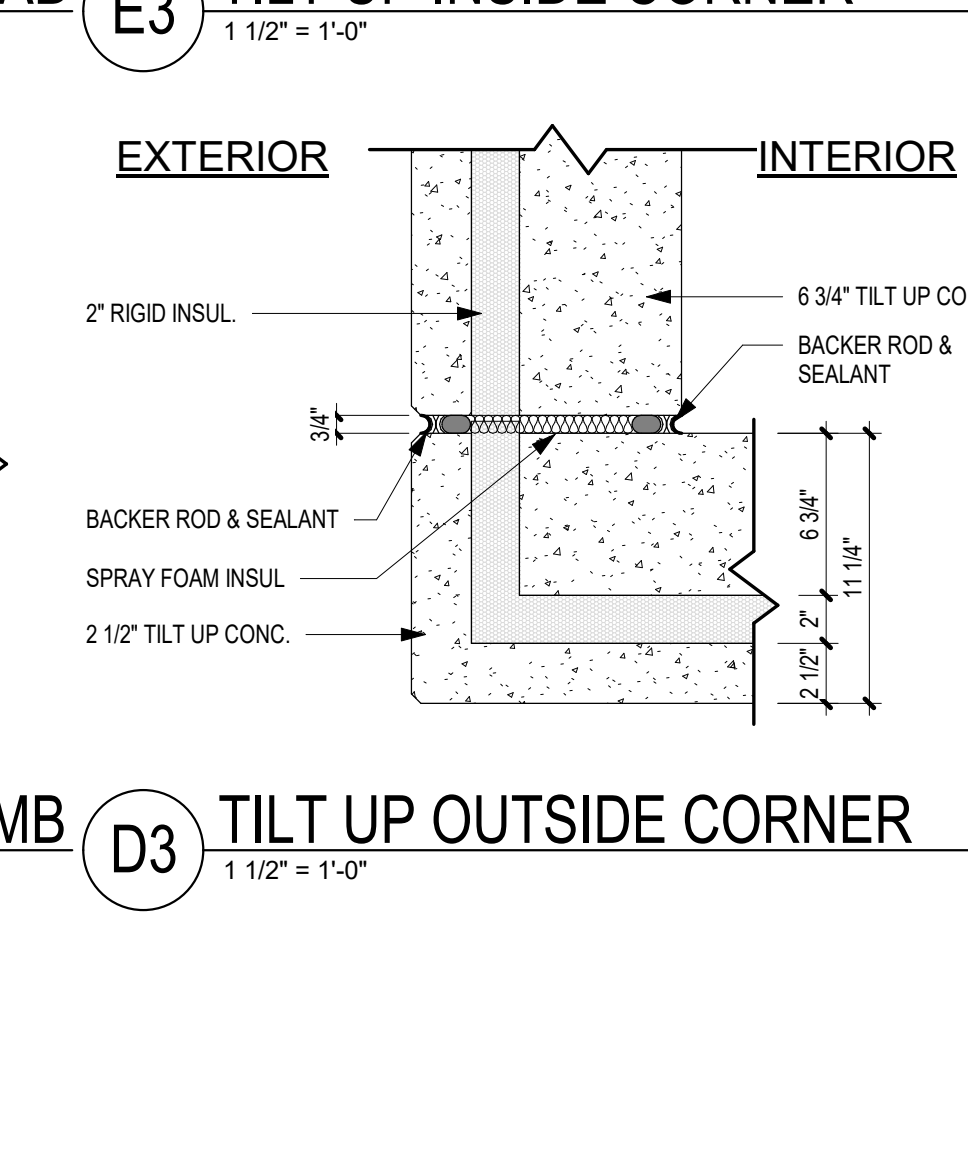
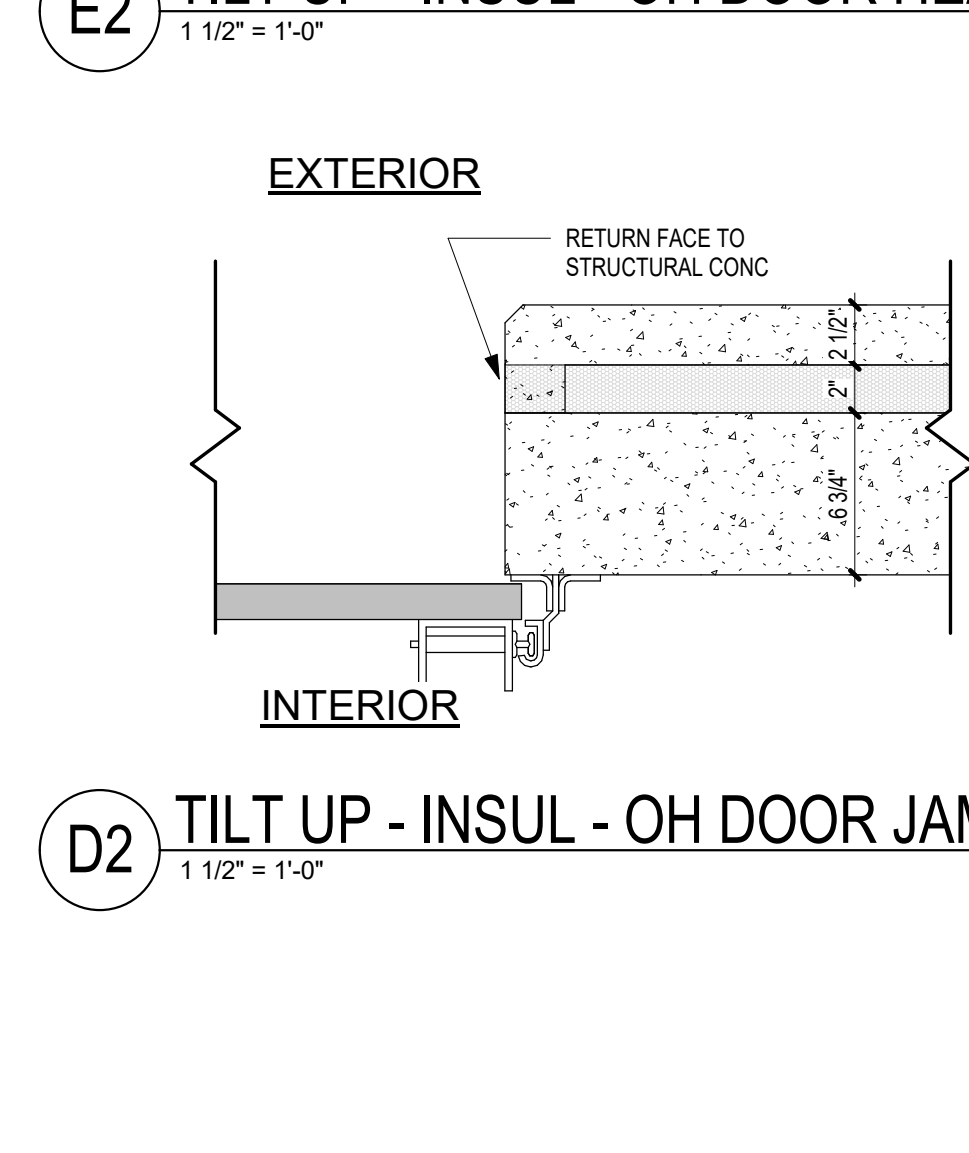
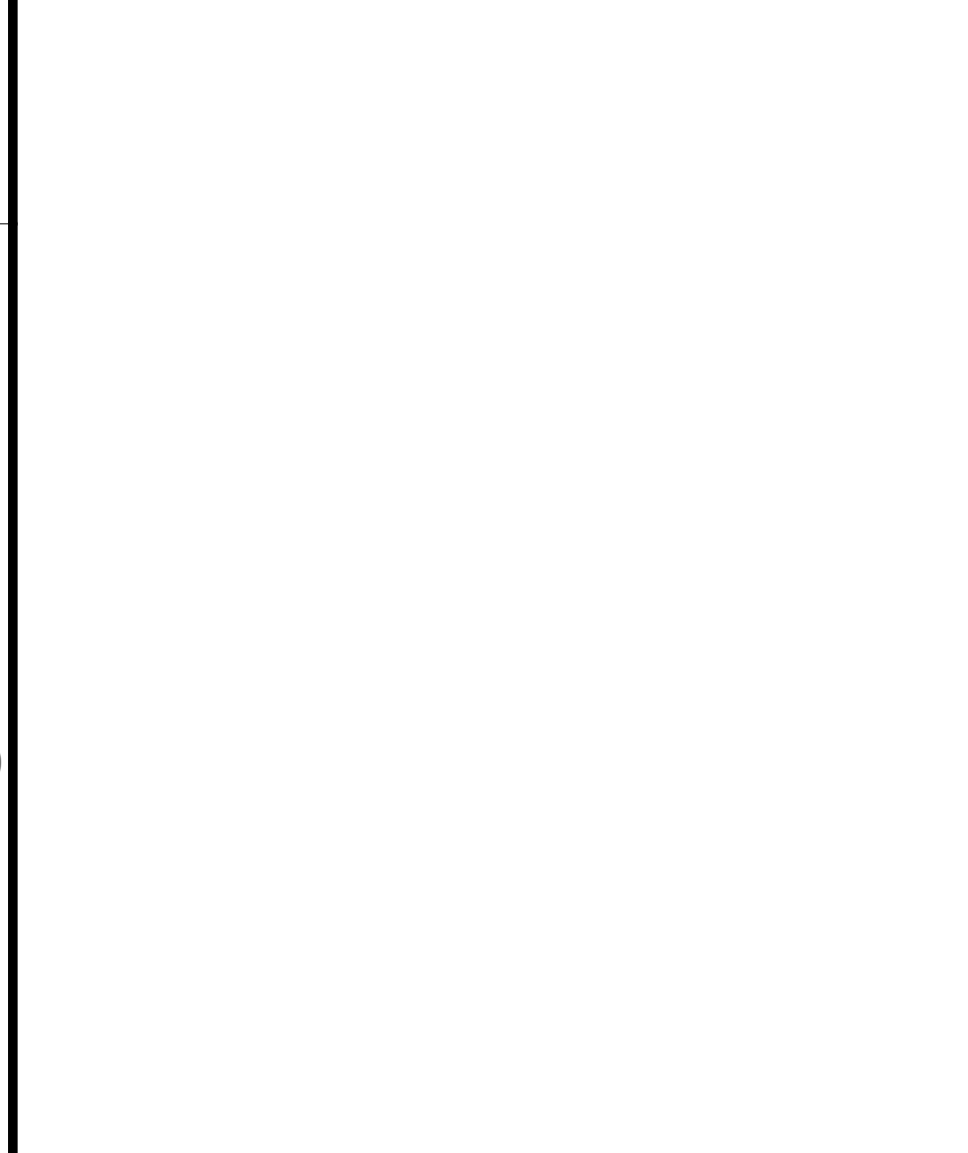
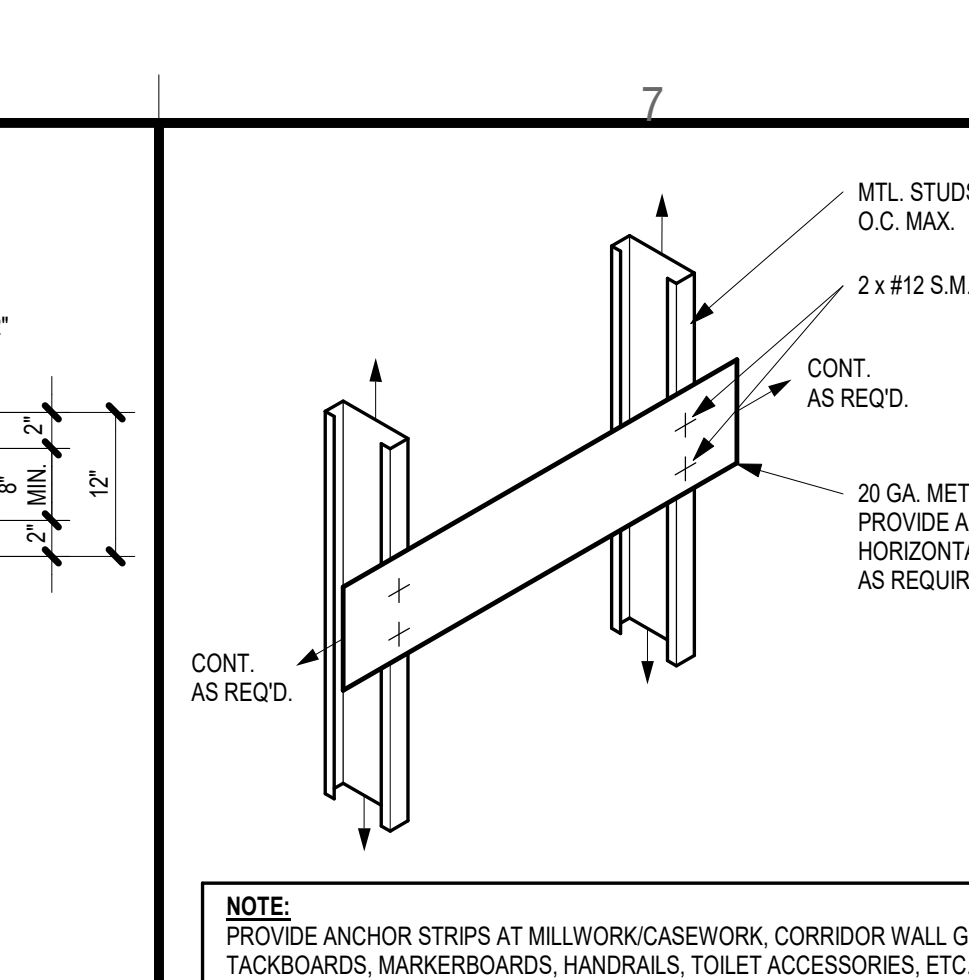
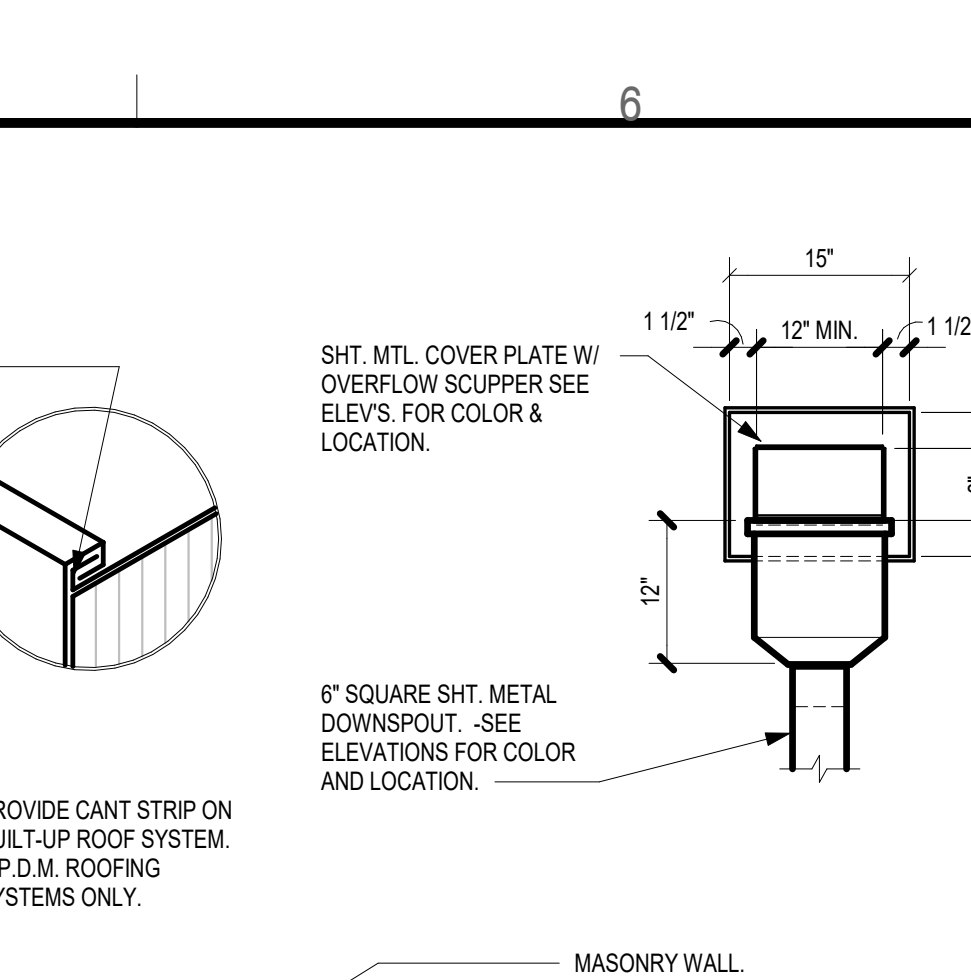
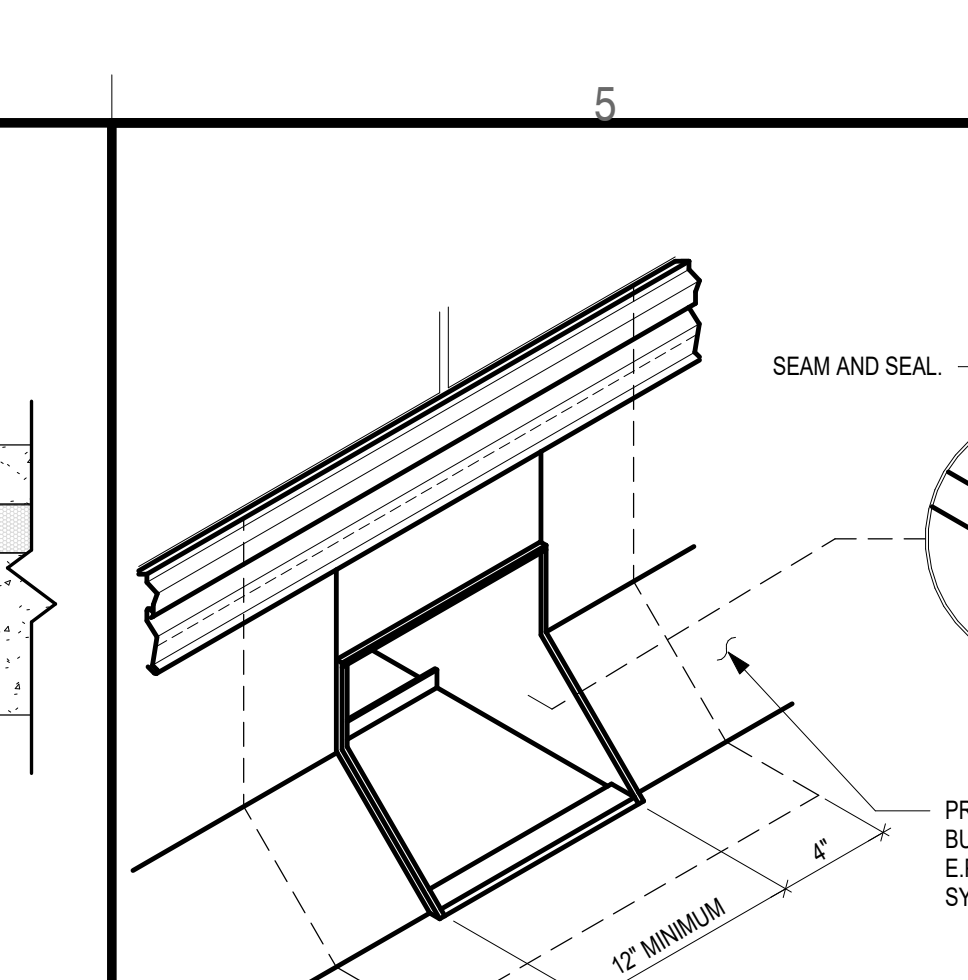
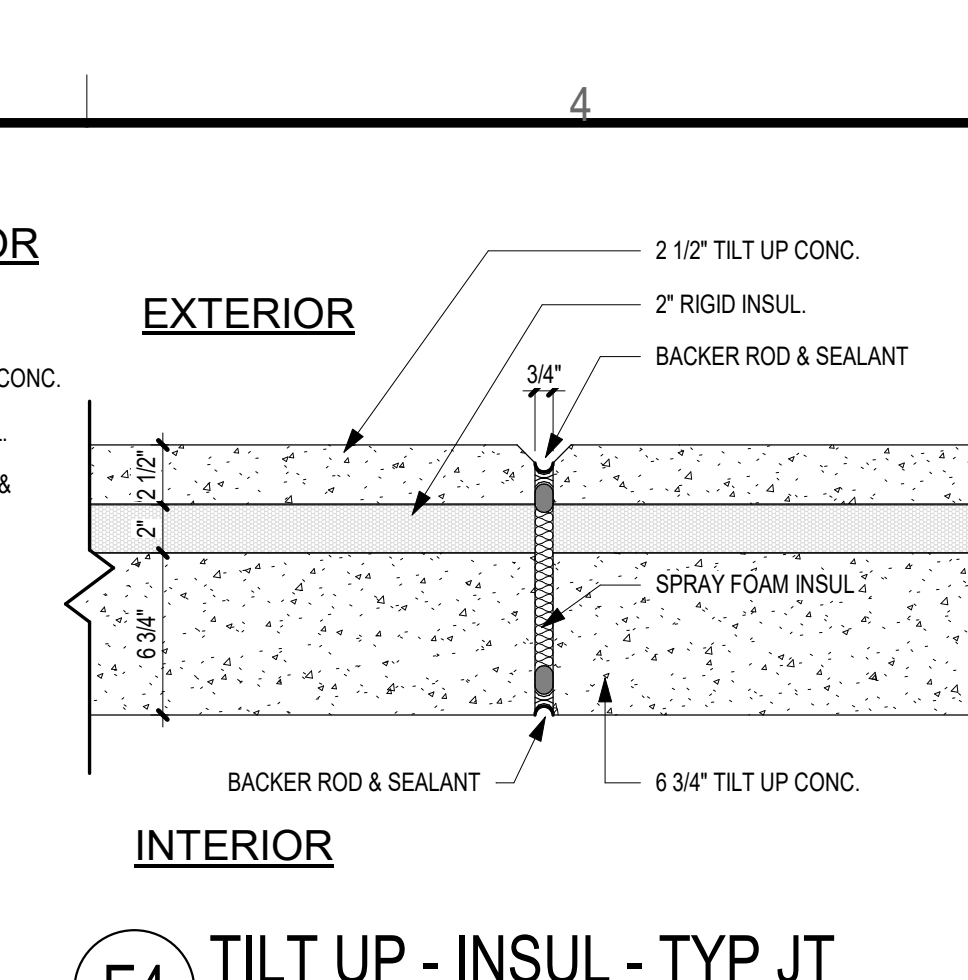
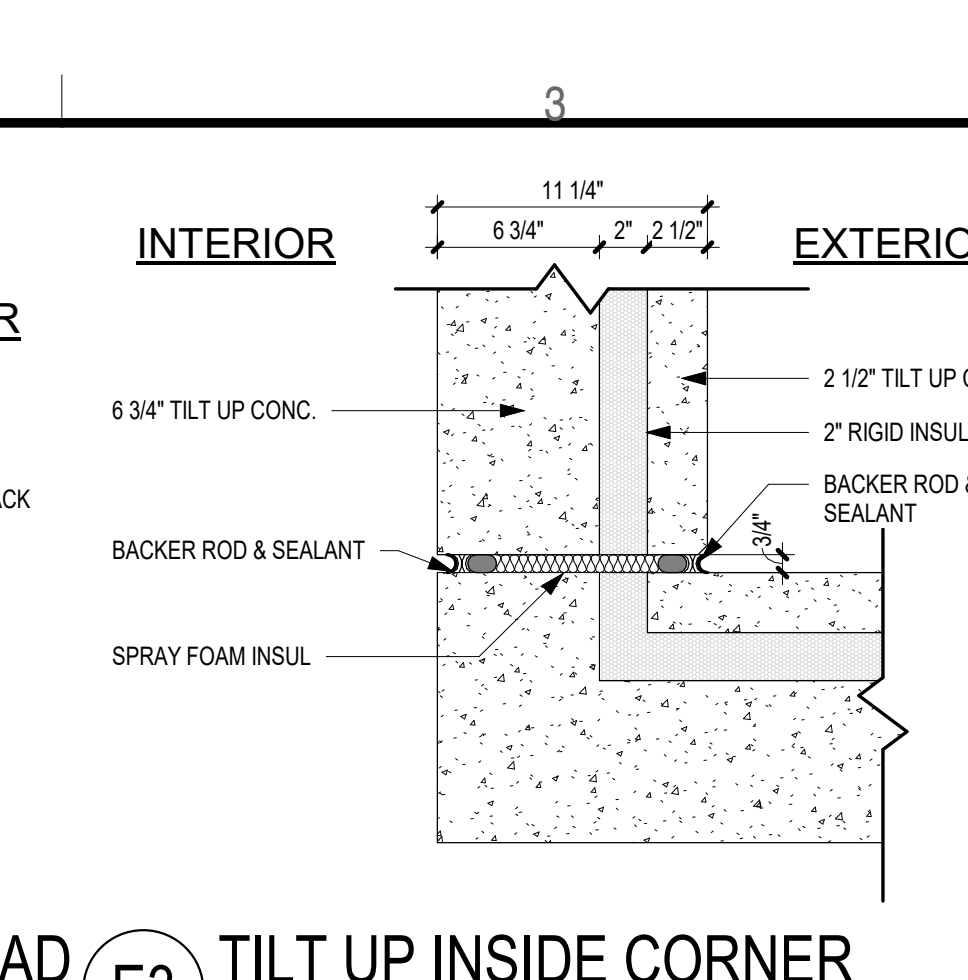
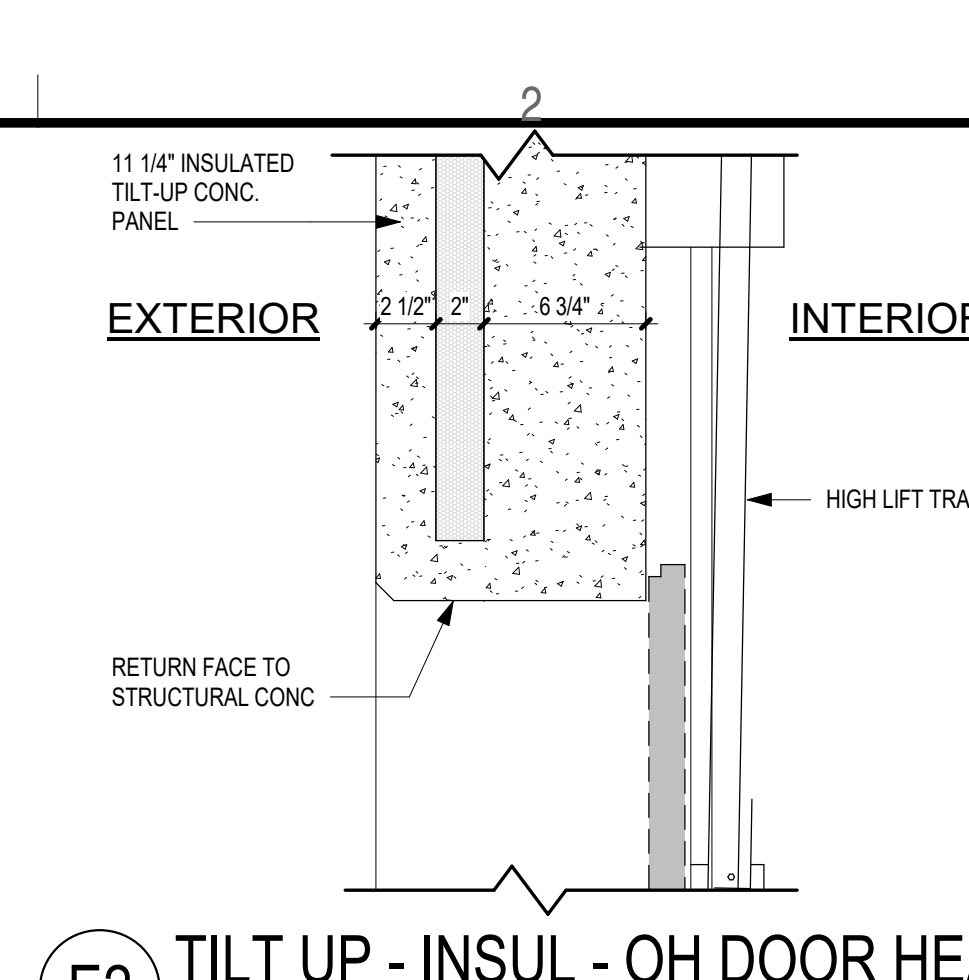
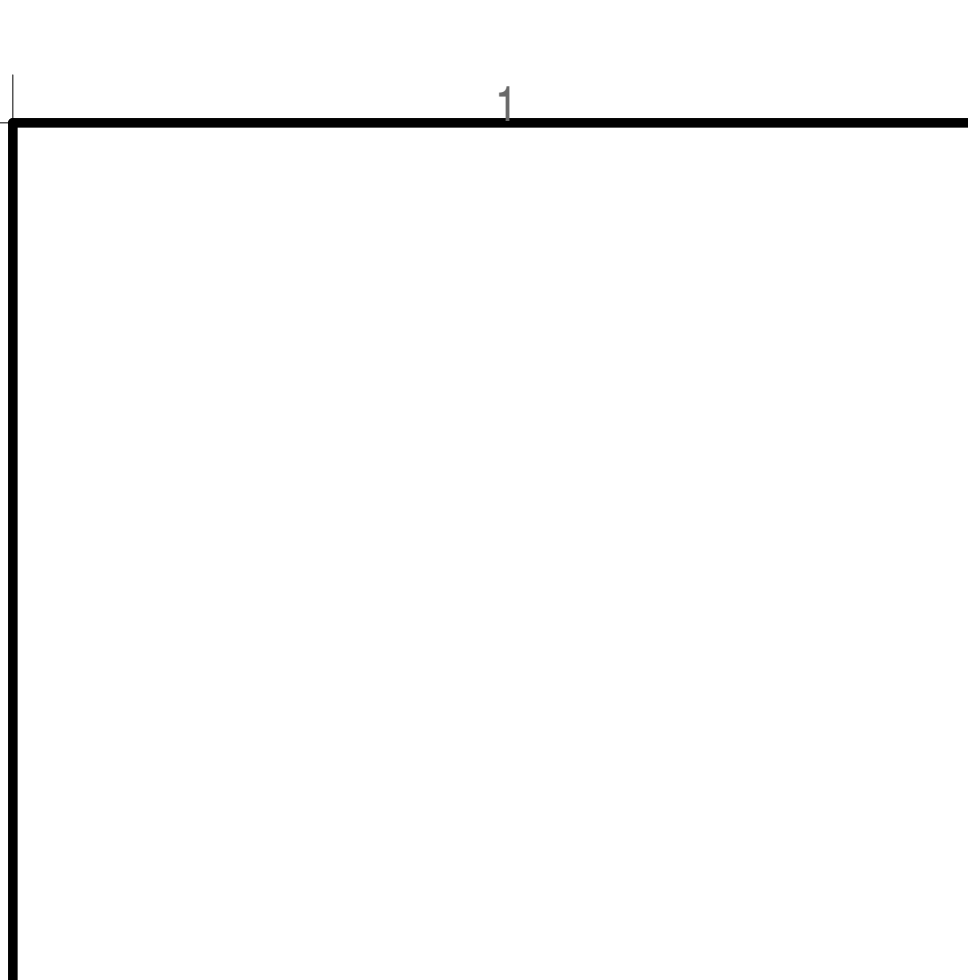
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SCCAD HEADQUARTERS

DETAILS

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NOTES:
 1. APPLY SEALANT BETWEEN PENETRATION AND PRE-MOLDED PIPE FLASHING PRIOR TO INSTALLATION OF CLAMPING RING.
 2. DO NOT USE WHEN SERVICE LINE TEMP EXCEEDS 180°F.
 3. THIS DETAIL APPLIES FOR LARGE PIPE PENETRATIONS TO 8\"/>

NOTES:
 1. APPLY SEALANT BETWEEN PENETRATION AND PRE-MOLDED PIPE FLASHING PRIOR TO INSTALLATION OF CLAMPING RING.
 2. DO NOT USE WHEN SERVICE LINE TEMP EXCEEDS 180°F.
 3. THIS DETAIL APPLIES FOR 1\"/>

SUMP AREA FIELD SEAM REQUIREMENTS:
 A. IF FIELD SEAM EDGE IS WITHIN 9\"/>

NOTES:
 PIPE - REFER TO MECHANICAL PLUMBING OR ELECTRICAL DWGS. WHEN PIPE IS A GAS PIPE, PAINT PIPE TRAFFIC YELLOW.
 4X6 (NOM.) FT. WOOD BLOCKING @ 6\"/>

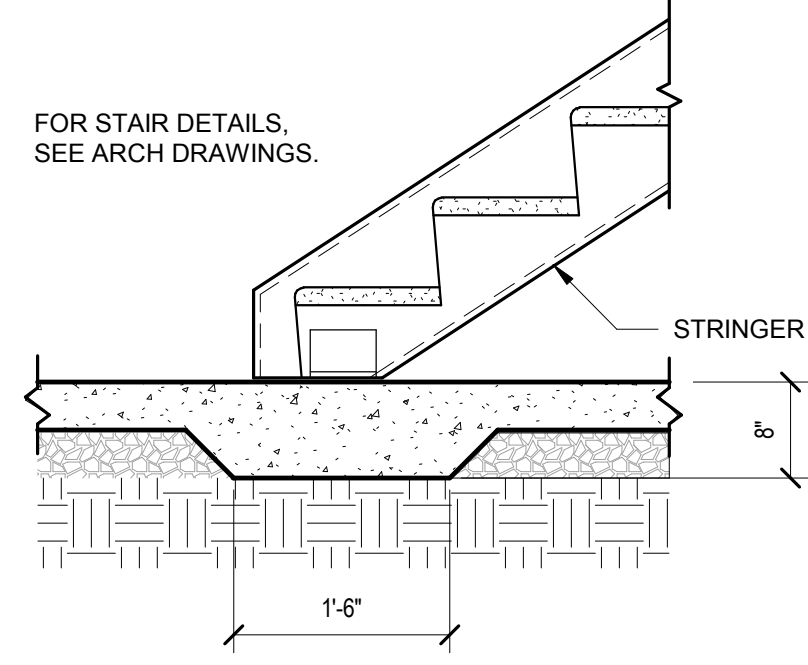
NOTES:
 USE APPROPRIATE TERMINATION - SEE WALL SECTION.
 TPO BONDING ADHESIVE.
 FASTENERS AND 2\"/>

NOTES:
 CONCRETE BLOCK (C.M.U.) WALL OR PARAPET.
 CONT. SEALANT.
 METAL MASONRY REGLET.
 TERMINATION BAR & FASTENERS AND 2\"/>

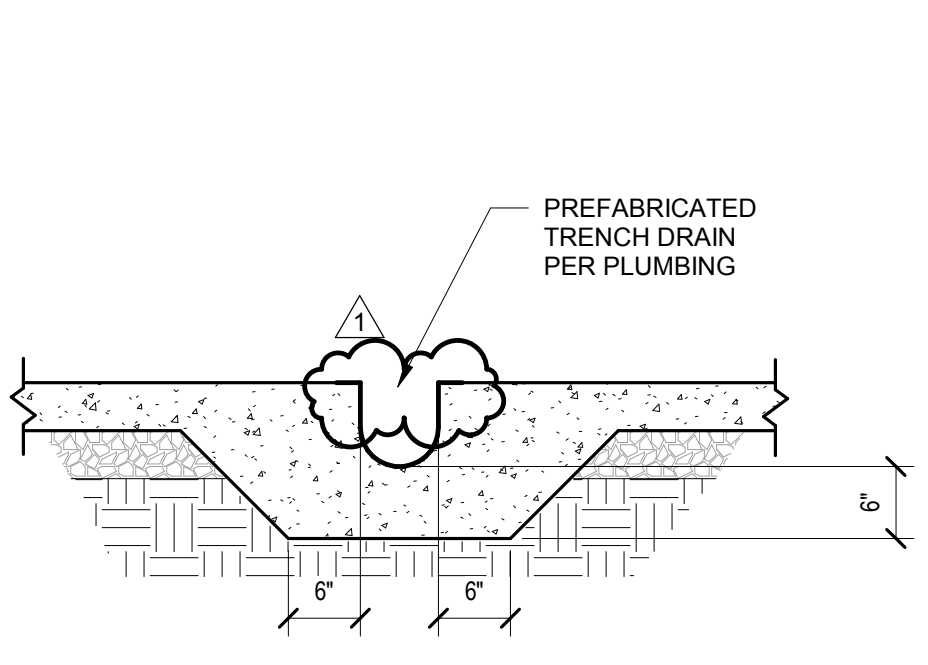
Proposed: **SCAD HEADQUARTERS**
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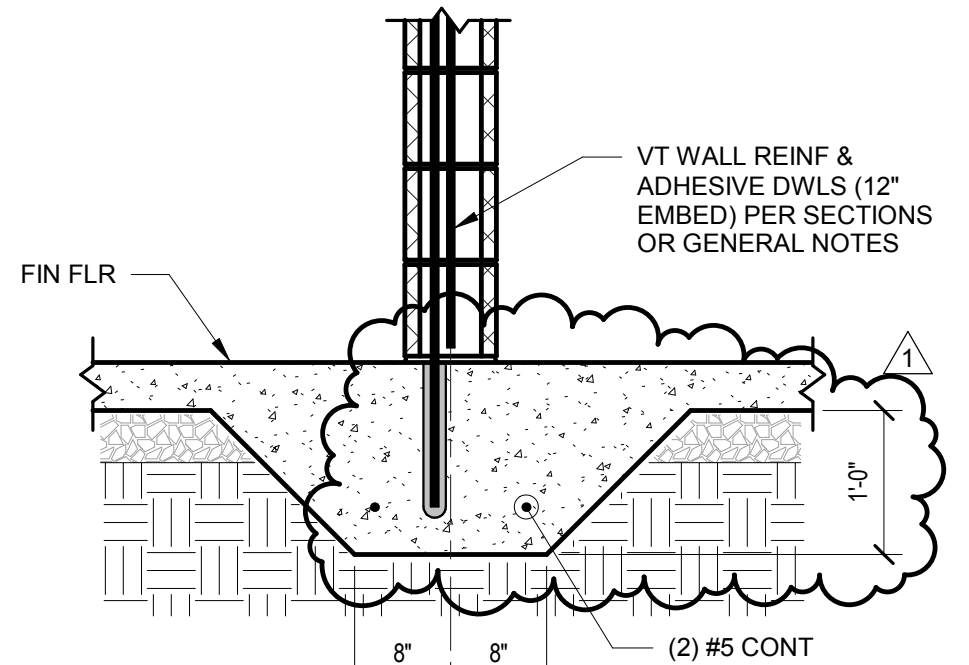
Project No. **18007**
 Sheet No. **A518**
 Date **12/02/2019**



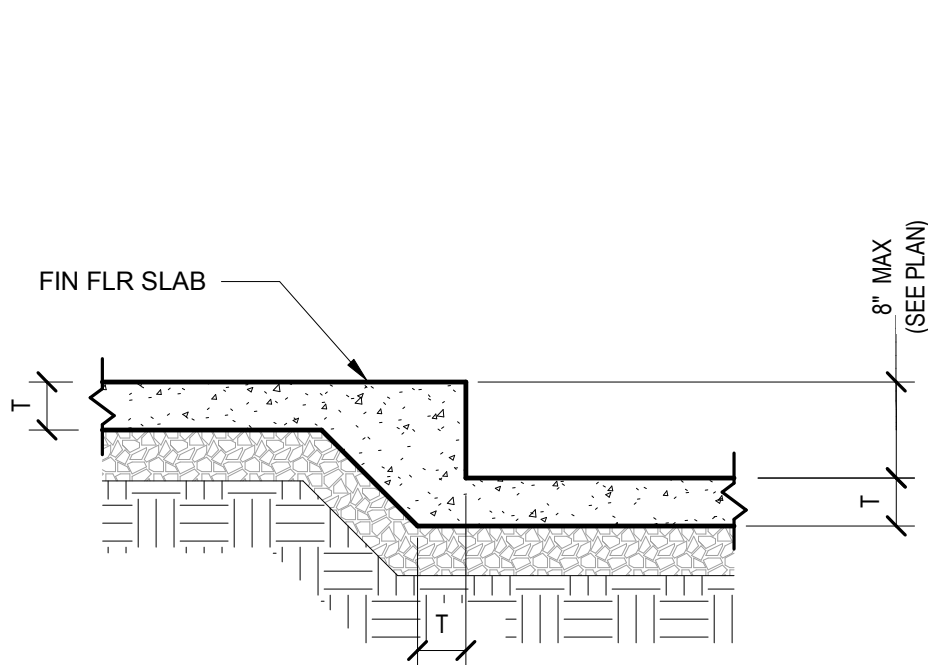
6 TYPICAL STAIR STRINGER AT SLAB ON GRADE DETAIL
 S103 / NTS



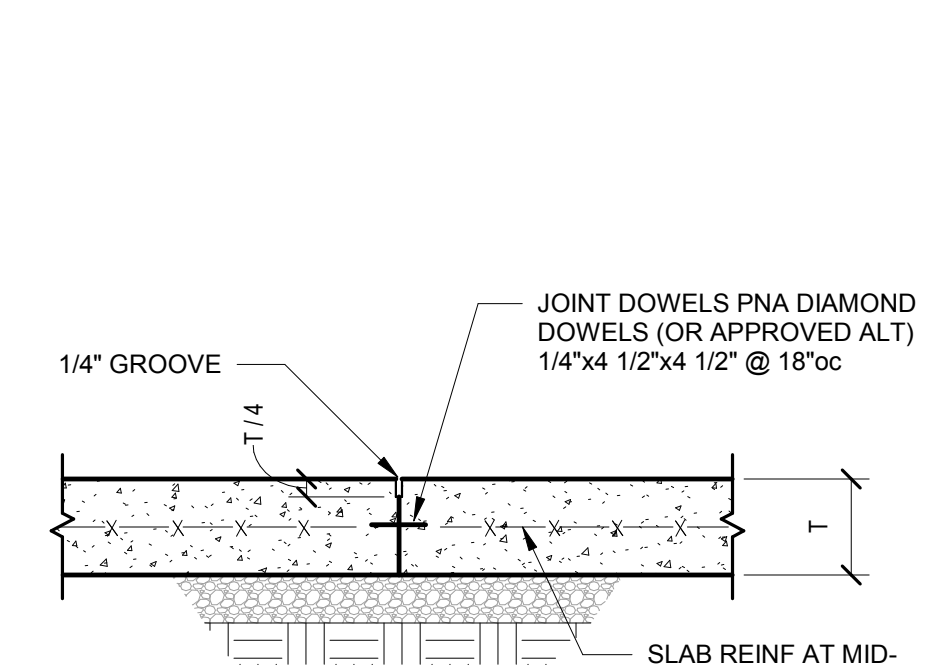
5 TYPICAL TRENCH DRAIN DETAIL
 S103 / NTS



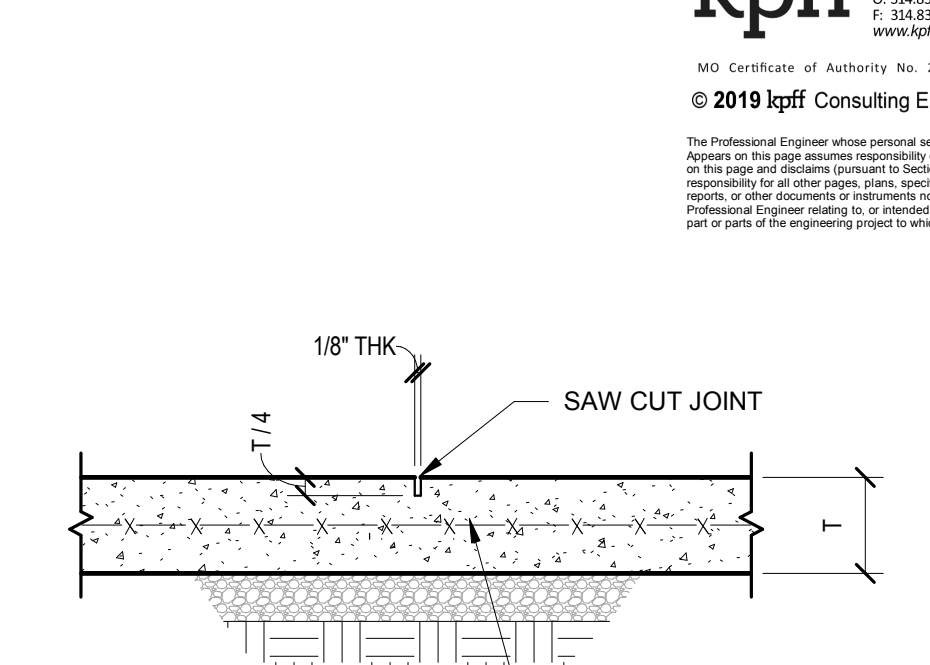
4 TYPICAL THICKENED SLAB AT NON-LOAD BEARING CMU INTERIOR PARTITION
 S103 / NTS



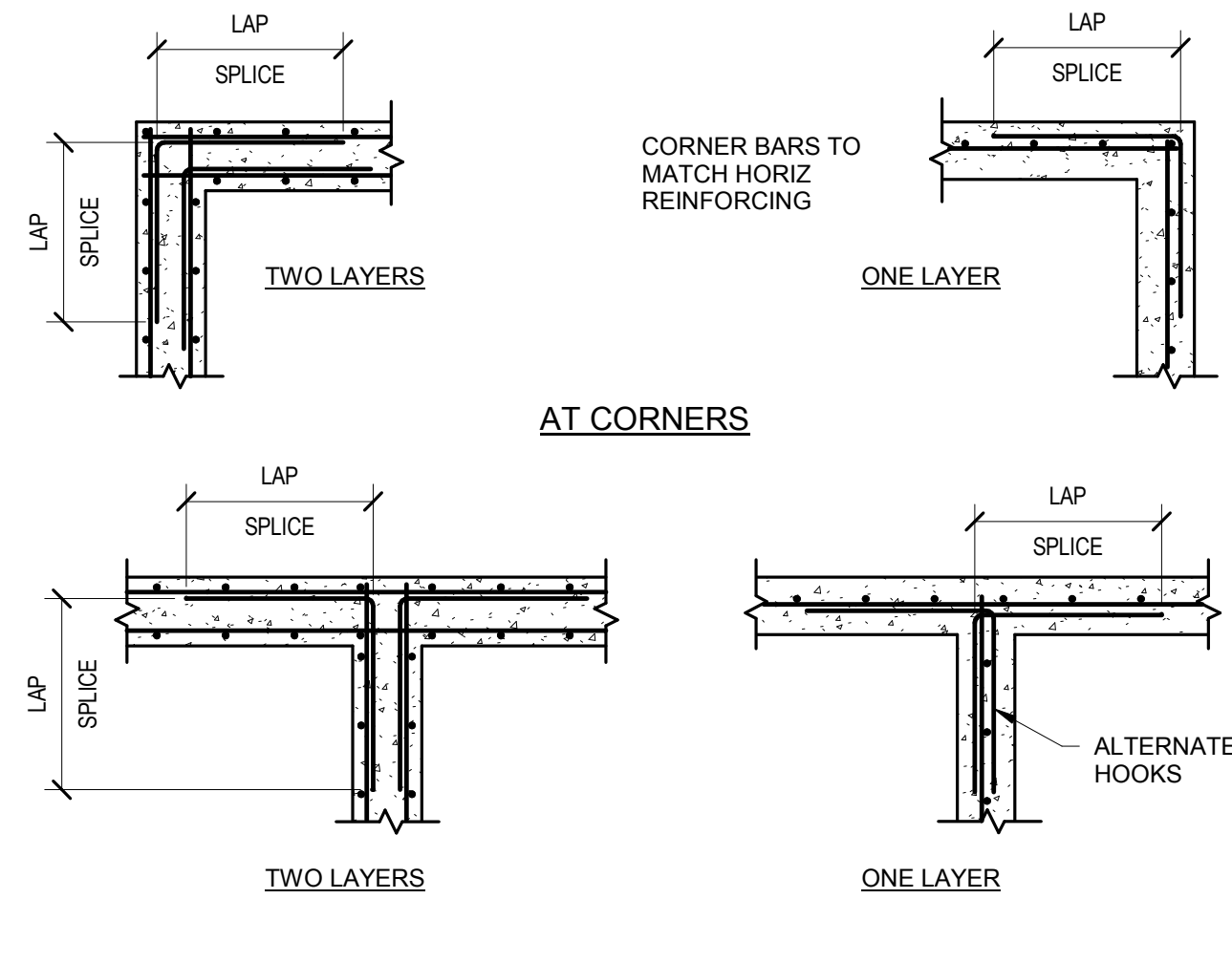
3 TYPICAL DEPRESSION OR STEP IN SLAB ON GRADE DETAIL
 S103 / NTS



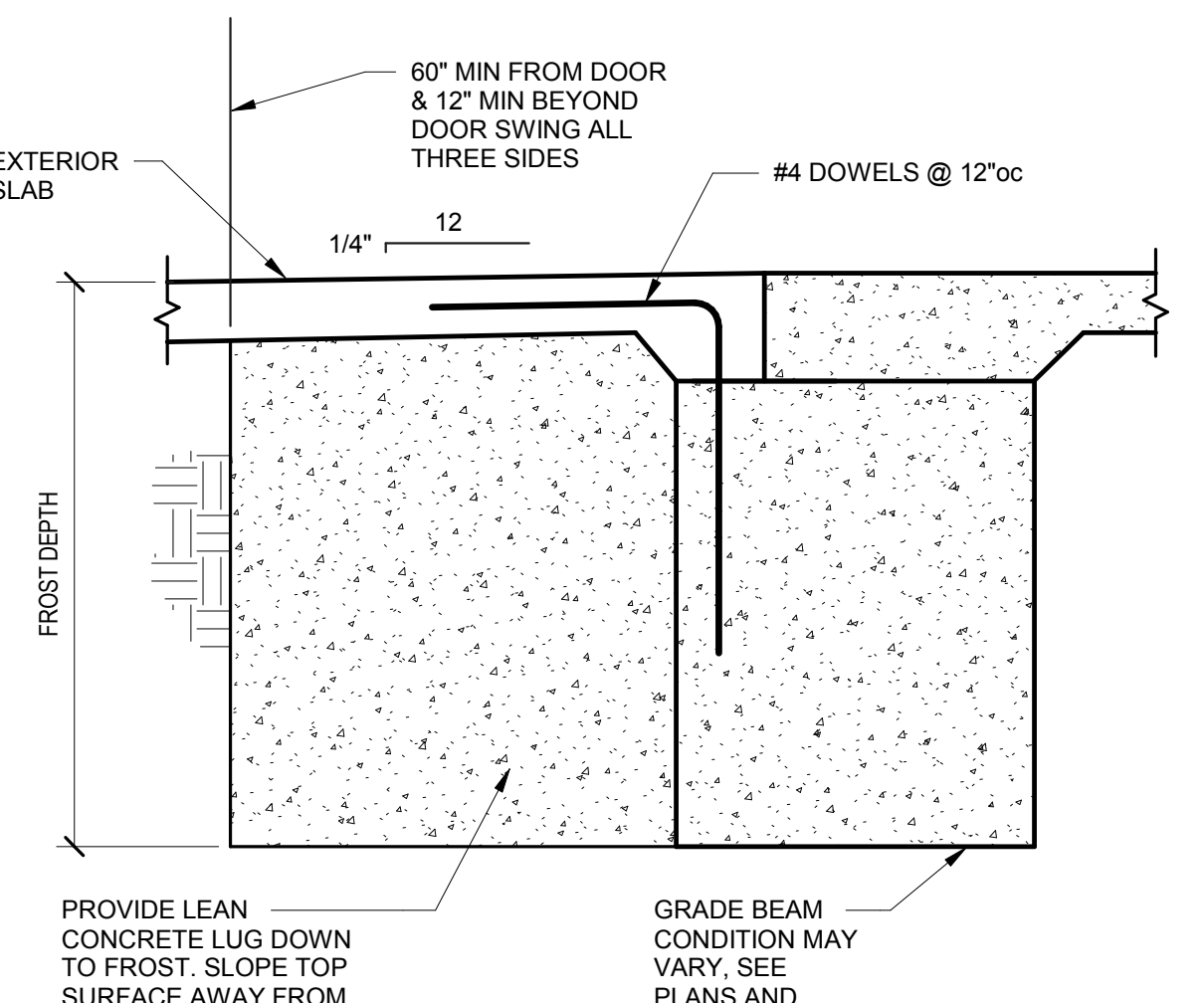
2 TYPICAL SLAB ON GRADE DIAMOND DOWEL CONSTRUCTION JOINT DETAIL
 S103 / NTS



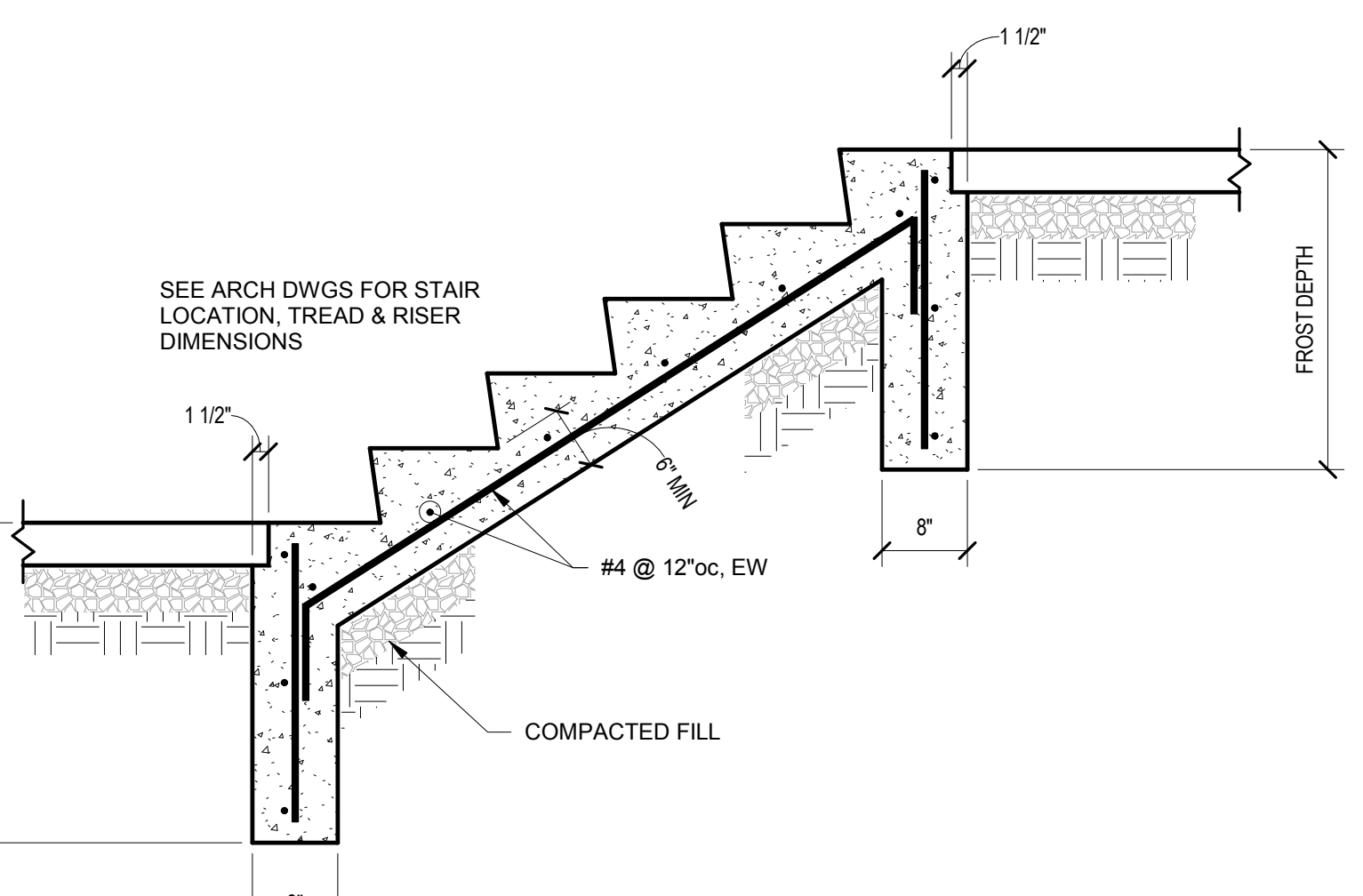
1 TYPICAL SLAB ON GRADE CONTROL JOINT DETAIL
 S103 / NTS



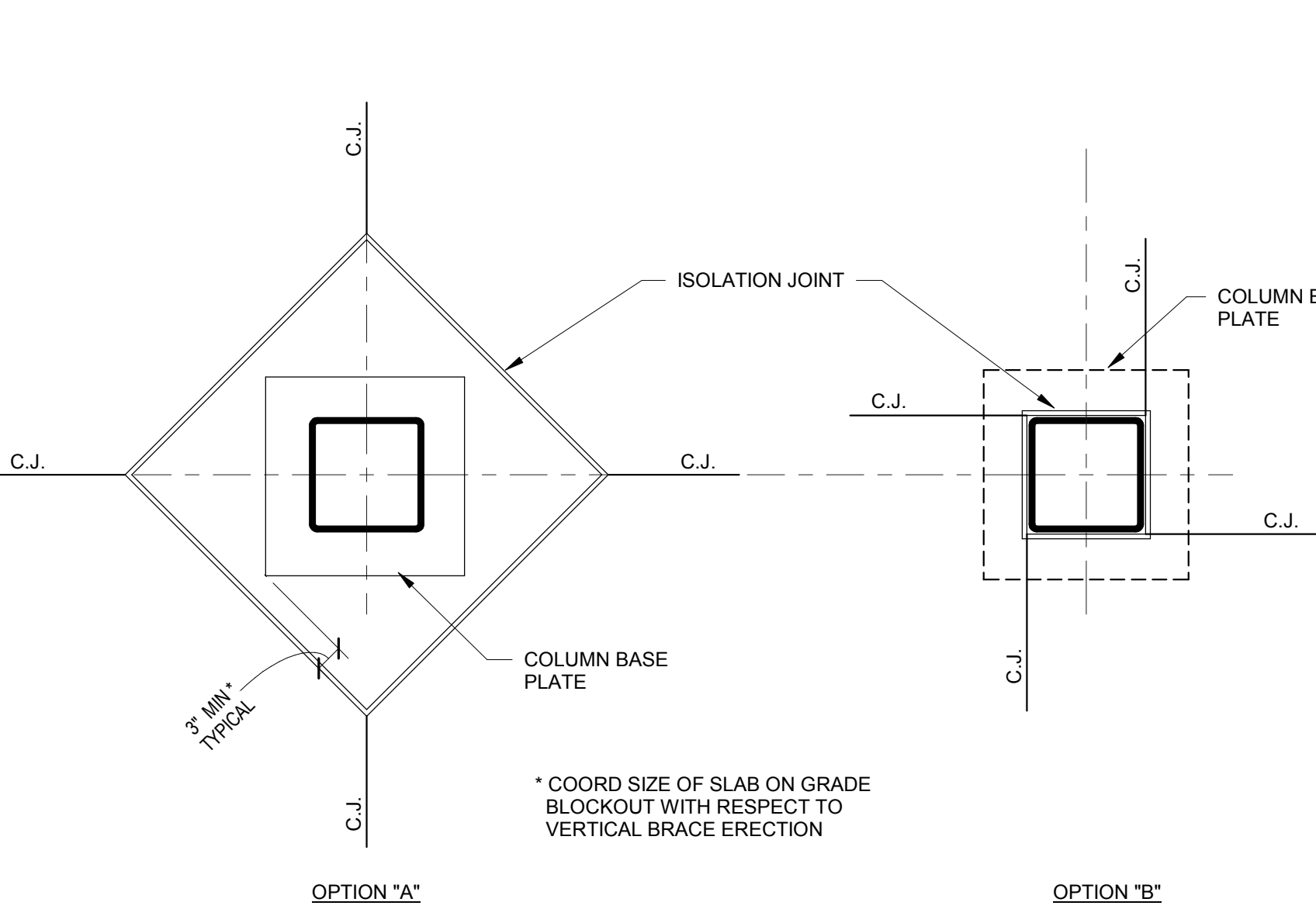
10 TYPICAL CONCRETE WALL / GRADE BEAM REINFORCING DETAILS AT INTERSECTIONS AND CORNERS
 S103 / NTS



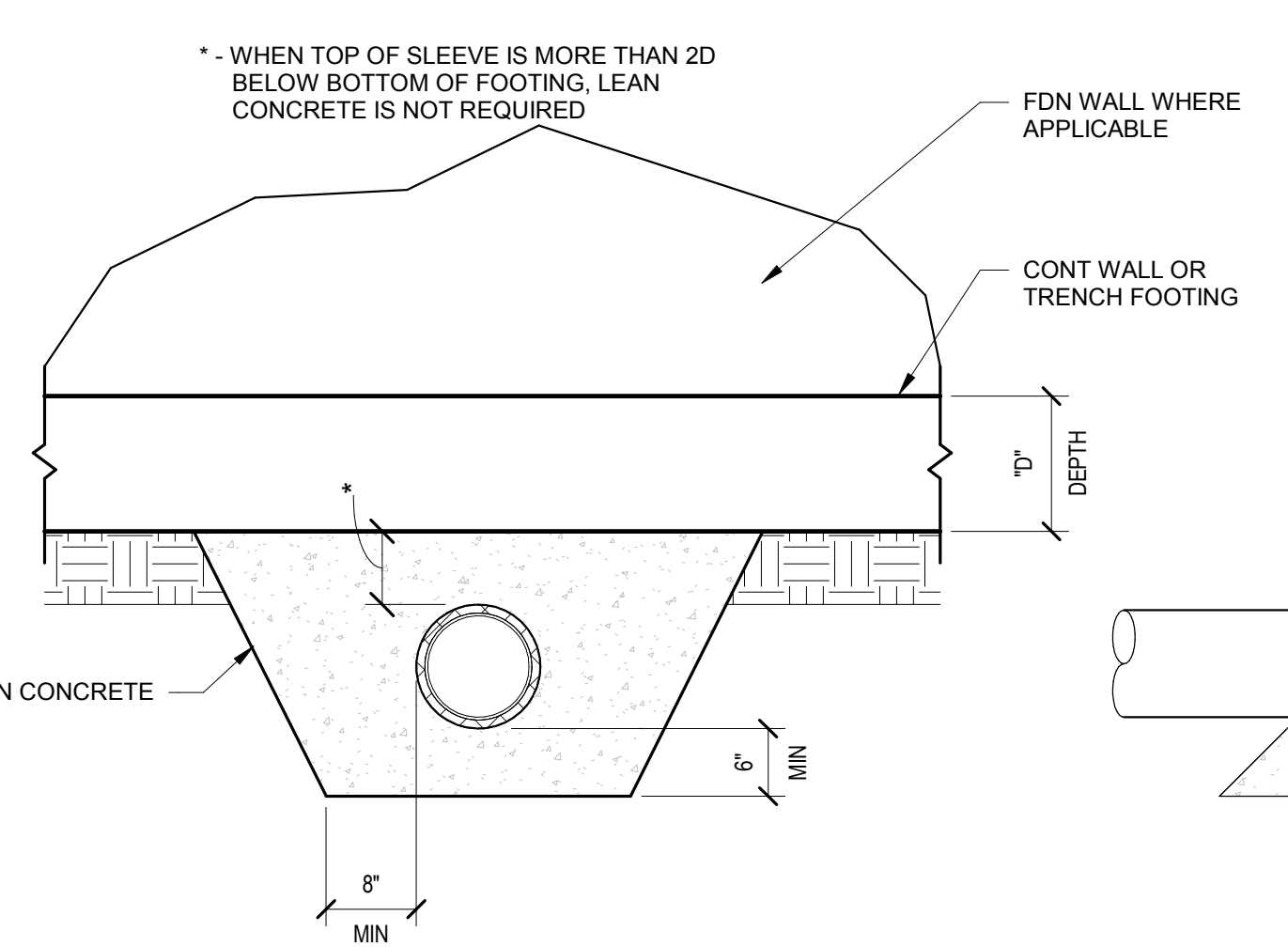
9 TYPICAL FROST BLOCK DETAIL AT EXTERIOR DOOR
 S103 / NTS



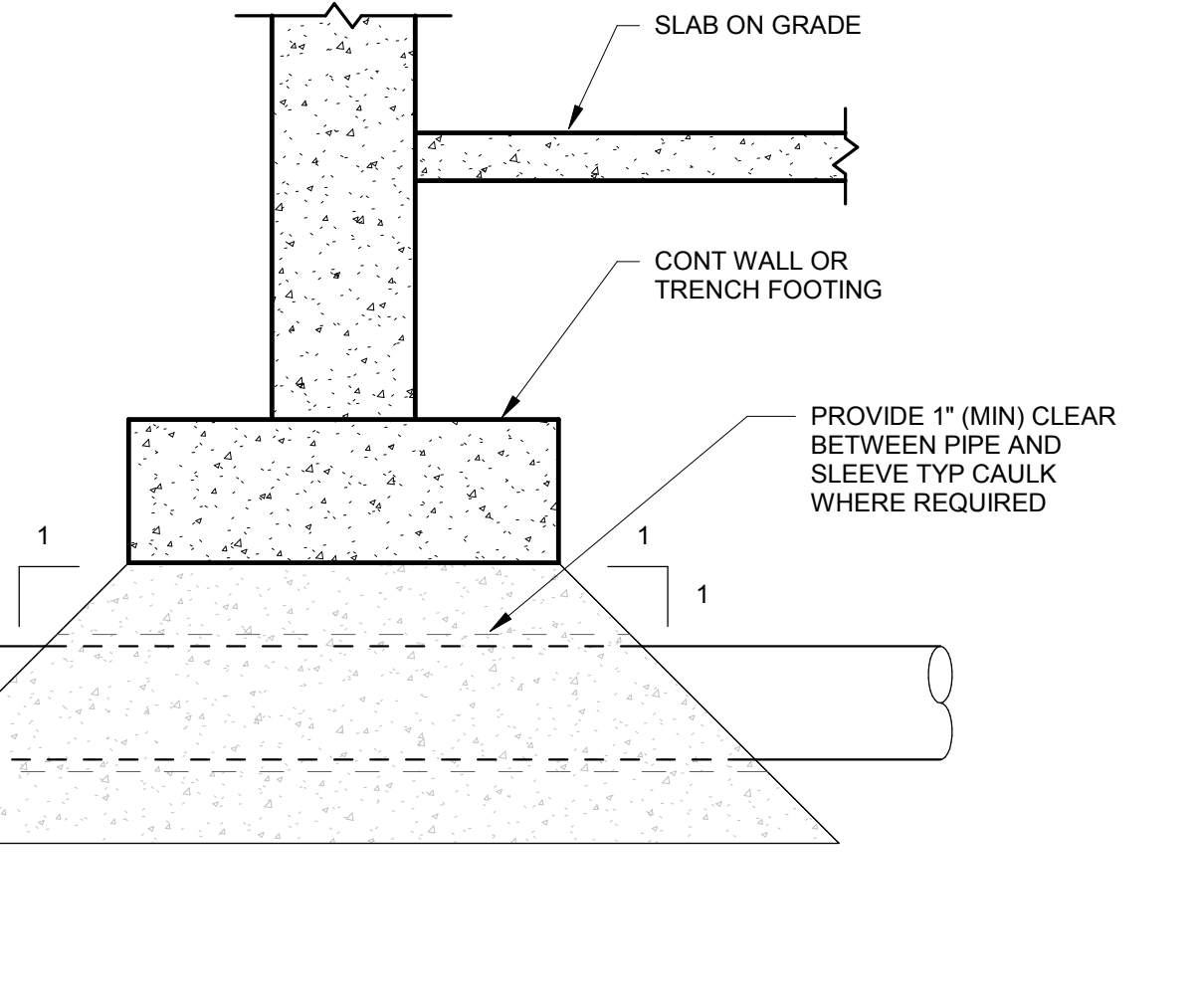
8 TYPICAL EXTERIOR CONCRETE STAIR DETAIL
 S103 / NTS



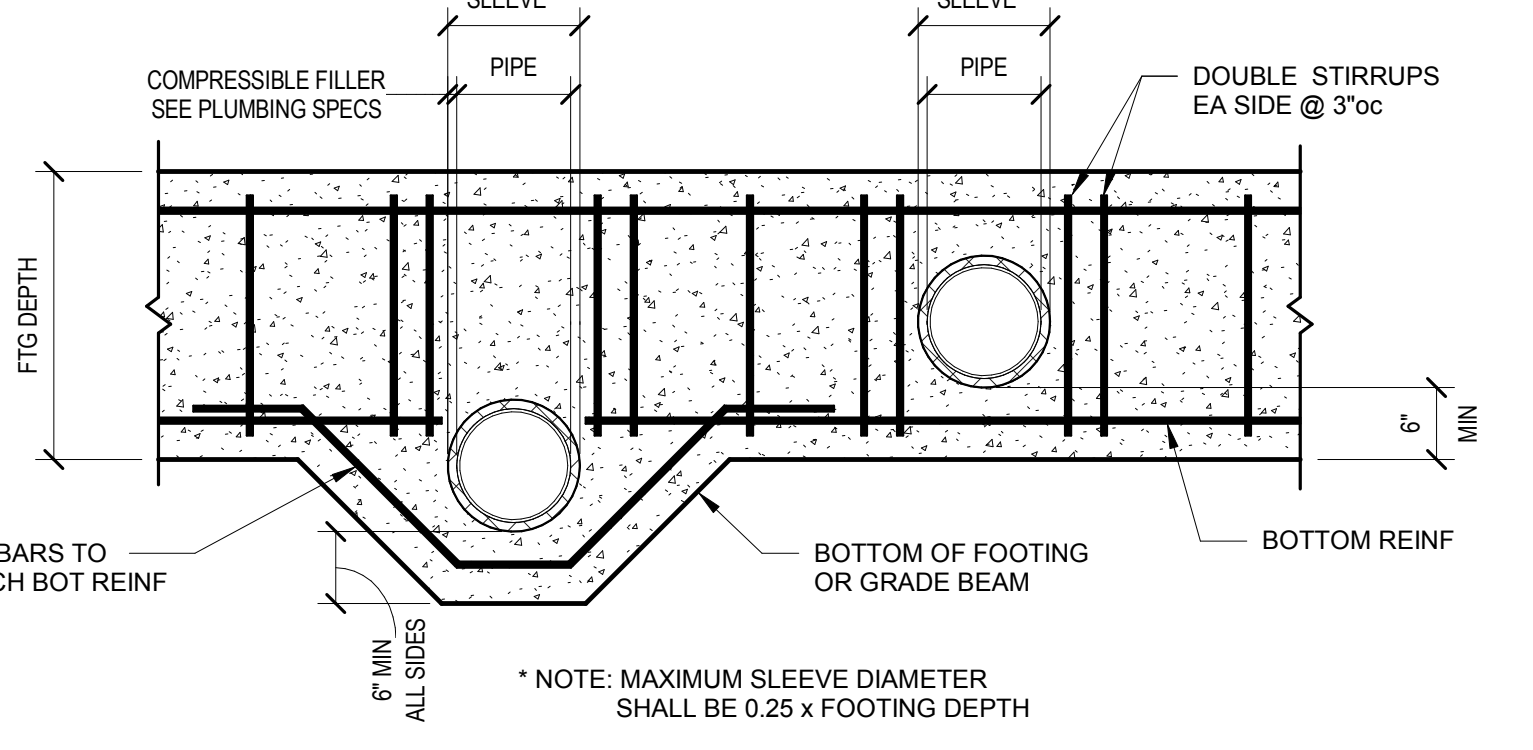
7 TYPICAL CONTROL JOINT PLAN AT STEEL COLUMN DETAIL
 S103 / NTS



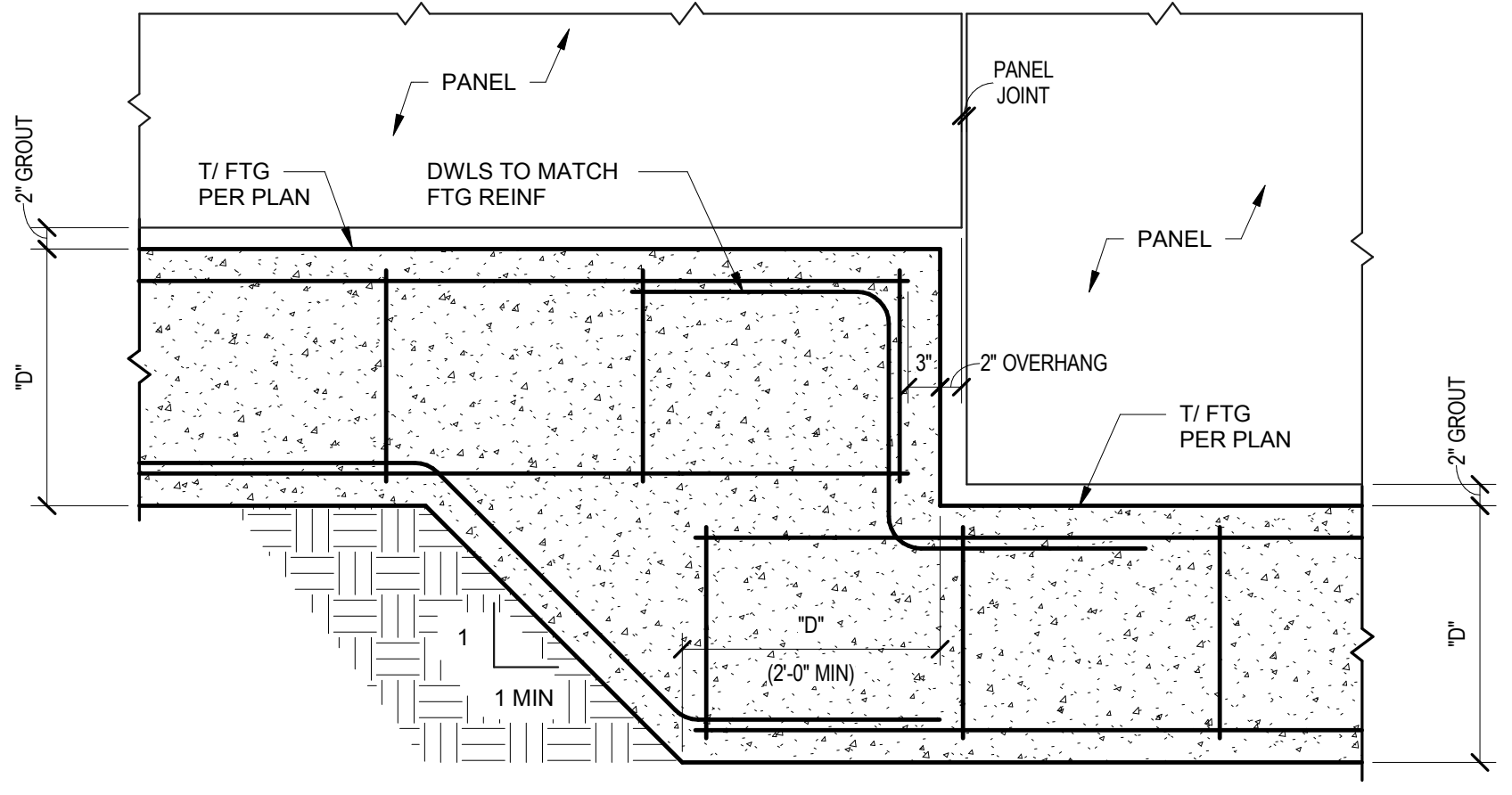
14 TYPICAL DETAIL WHERE PLUMBING PASSES BELOW CONTINUOUS WALL OR TRENCH FOOTING
 S103 / NTS



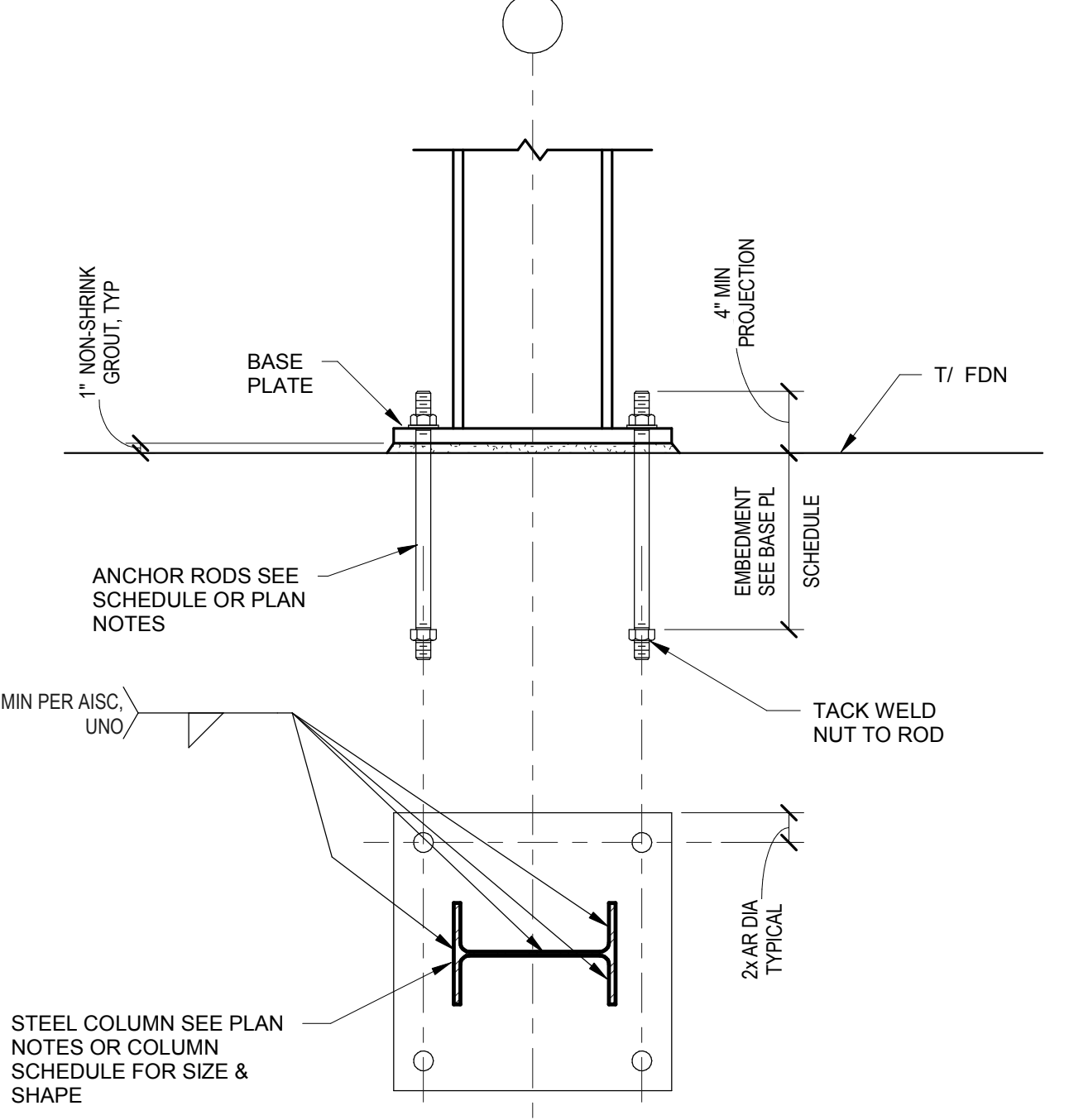
13 TYPICAL PROHIBITED EXCAVATIONS AT FOUNDATION
 S103 / NTS



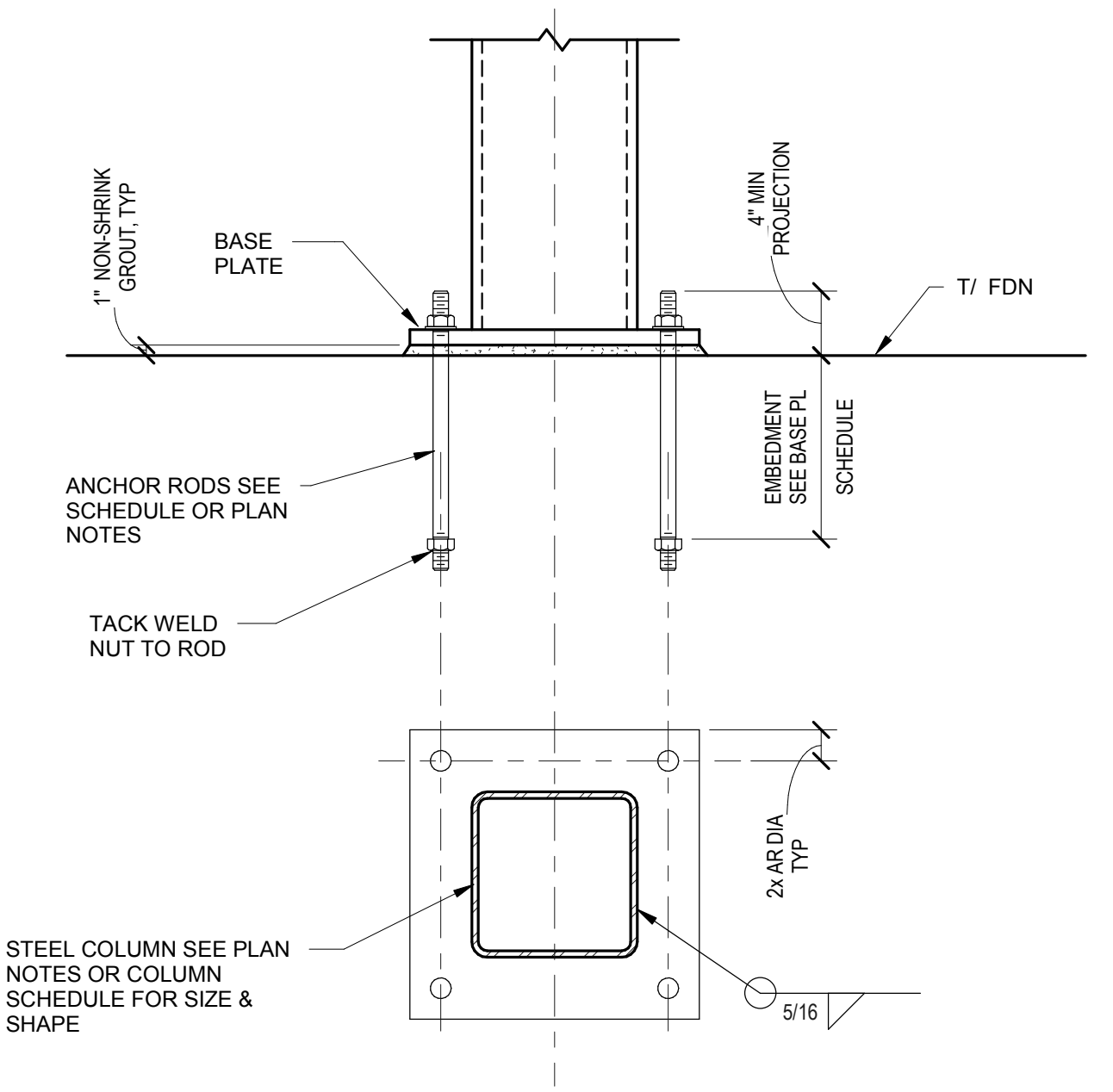
16 TYPICAL PIPE SLEEVE THRU FOUNDATION DETAIL
 S103 / NTS



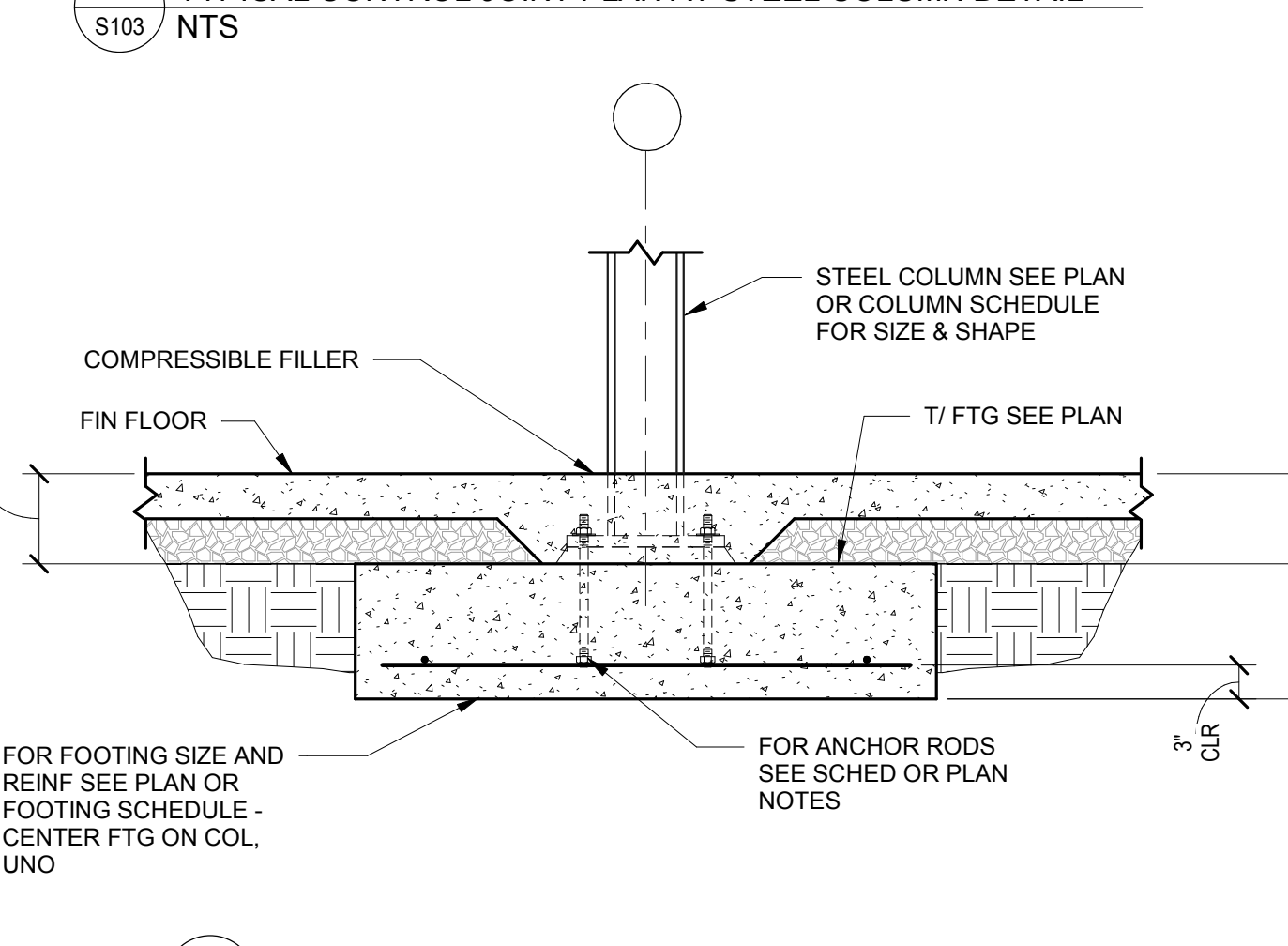
19 TYPICAL TRENCH FOOTING STEP DETAIL
 S103 / NTS



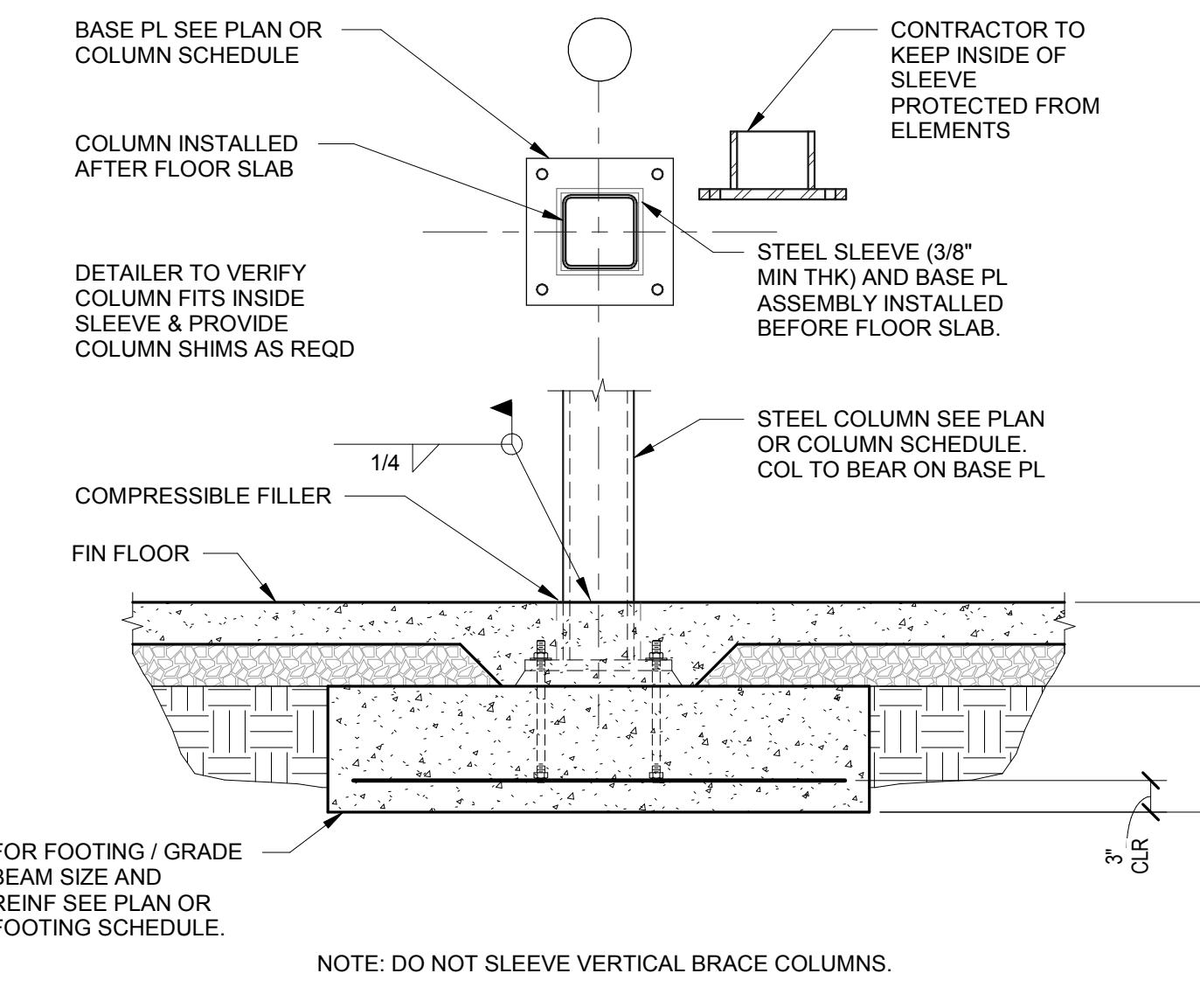
12 TYPICAL COLUMN BASE PLATE AND ANCHOR ROD DETAIL
 S103 / NTS



17 TYPICAL COLUMN BASE PLATE AND ANCHOR ROD DETAIL
 S103 / NTS



11 TYPICAL INTERIOR STEEL COLUMN FOOTING DETAIL
 S103 / NTS

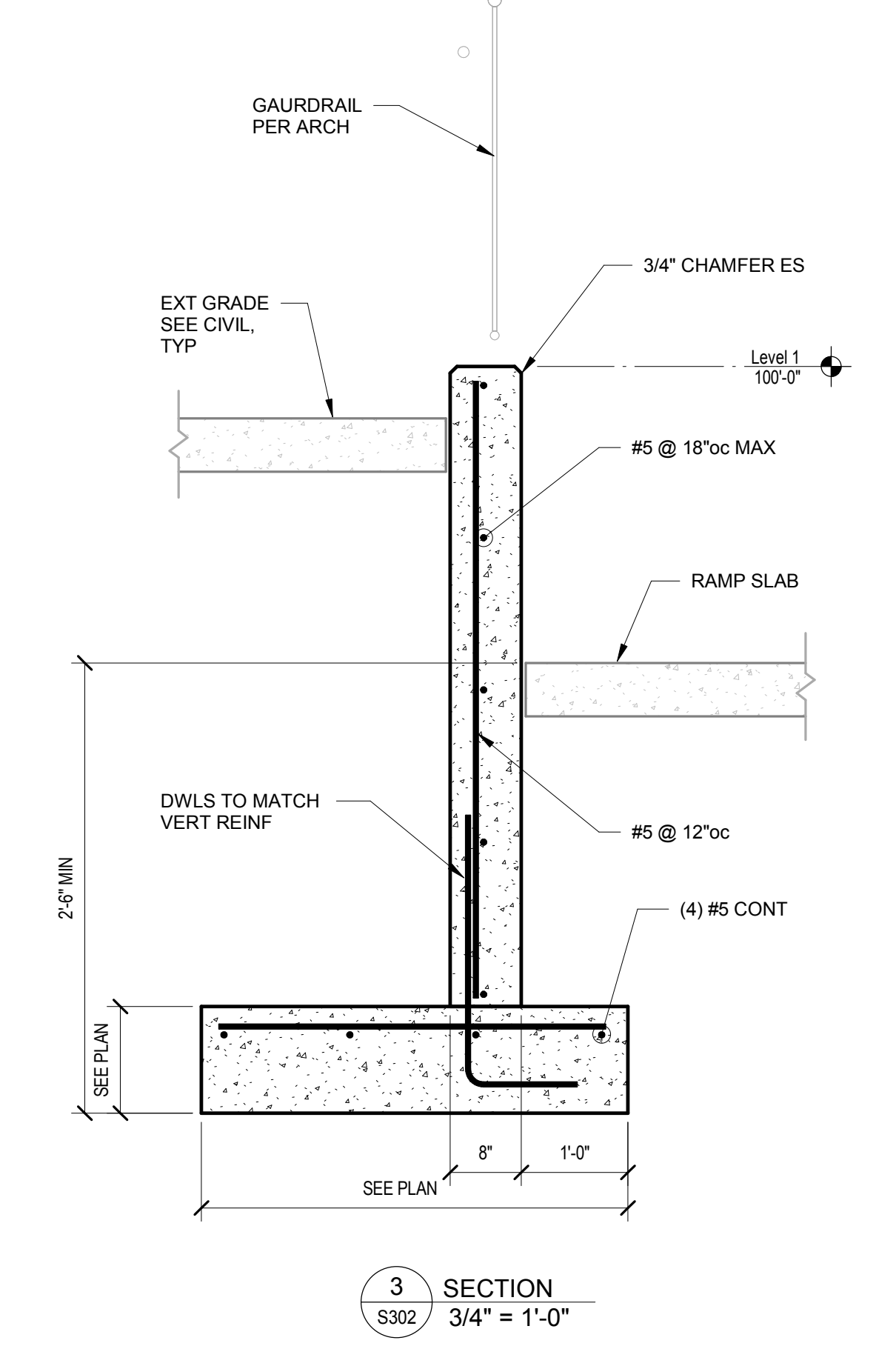


15 TYPICAL INTERIOR STEEL COLUMN FOOTING DETAIL W/ SLEEVE
 S103 / NTS

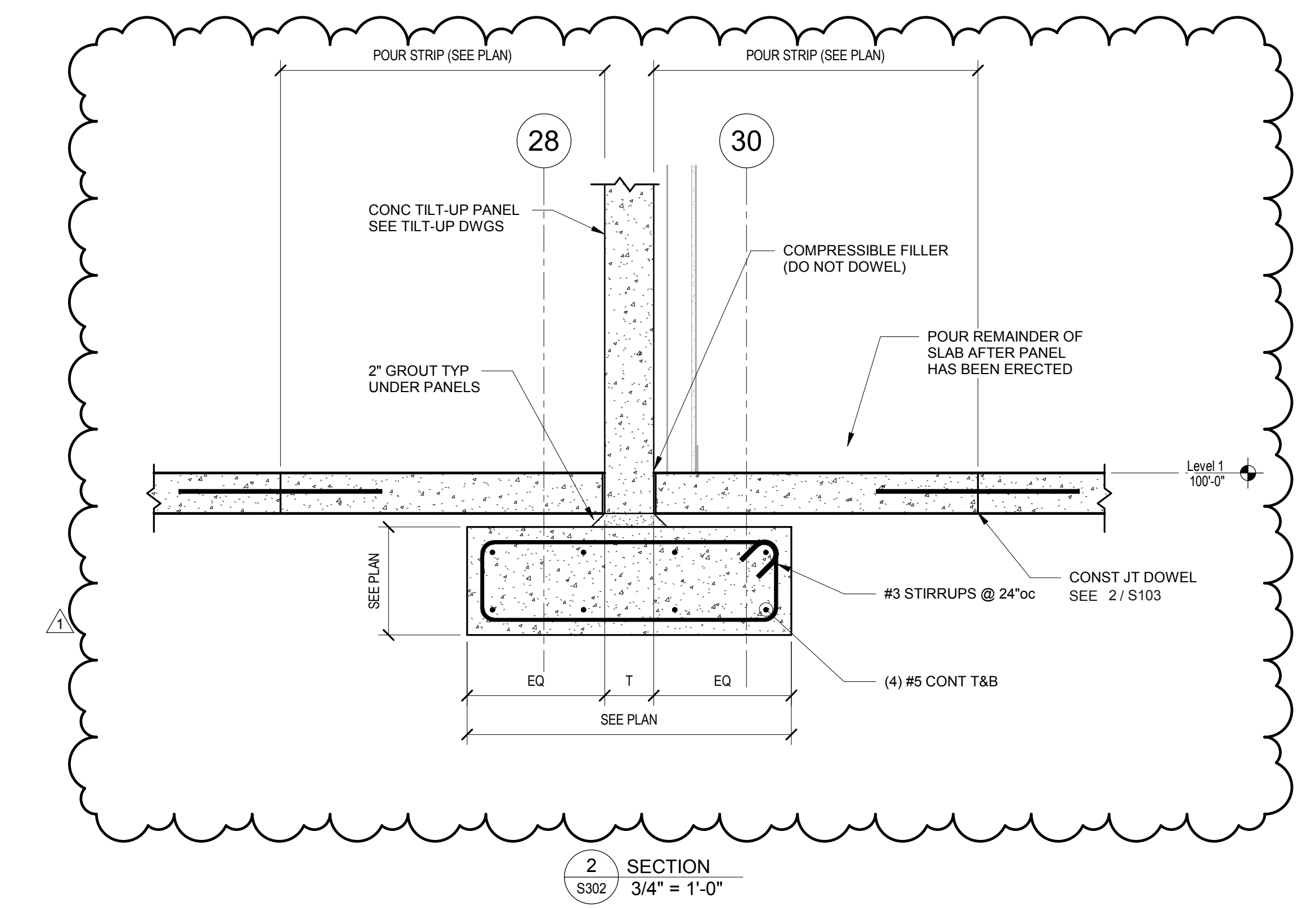
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 SCALE: 1 1/4" = 1'-0"
 SCALE: 1 1/2" = 1'-0"
 SCALE: 1 3/4" = 1'-0"
 SCALE: 2" = 1'-0"
 SCALE: 2 1/4" = 1'-0"
 SCALE: 3" = 1'-0"
 SCALE: 3 1/2" = 1'-0"
 SCALE: 4" = 1'-0"
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 SCALE: 5 1/2" = 1'-0"
 SCALE: 6" = 1'-0"
 SCALE: 6 1/2" = 1'-0"
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 SCALE: 7 1/2" = 1'-0"
 SCALE: 8" = 1'-0"
 SCALE: 8 1/2" = 1'-0"
 SCALE: 9" = 1'-0"
 SCALE: 9 1/2" = 1'-0"
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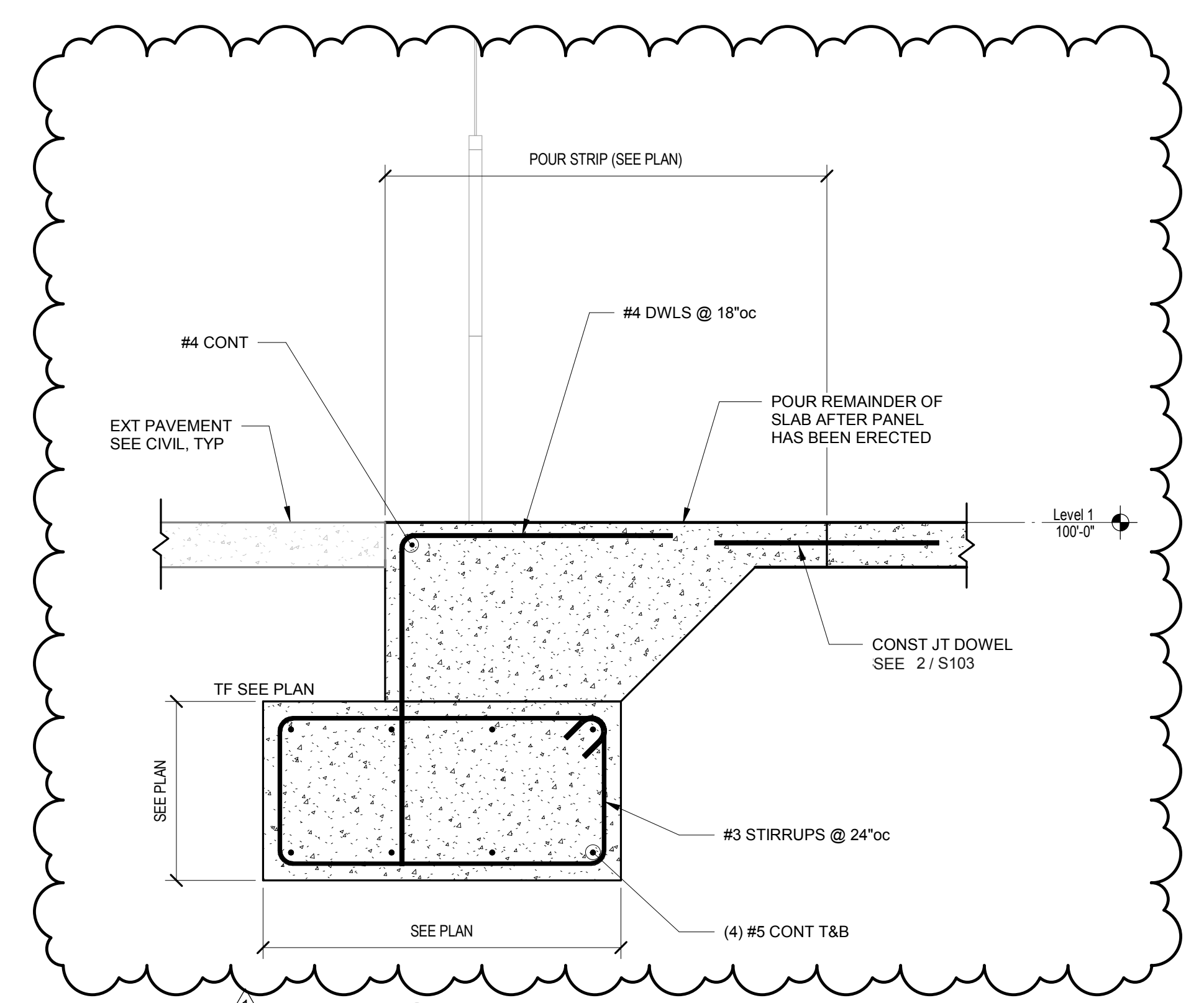
A
 B
 C
 D
 E



3 SECTION
 S302 3/4" = 1'-0"



2 SECTION
 S302 3/4" = 1'-0"



1 SECTION
 S302 3/4" = 1'-0"

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 KPMG
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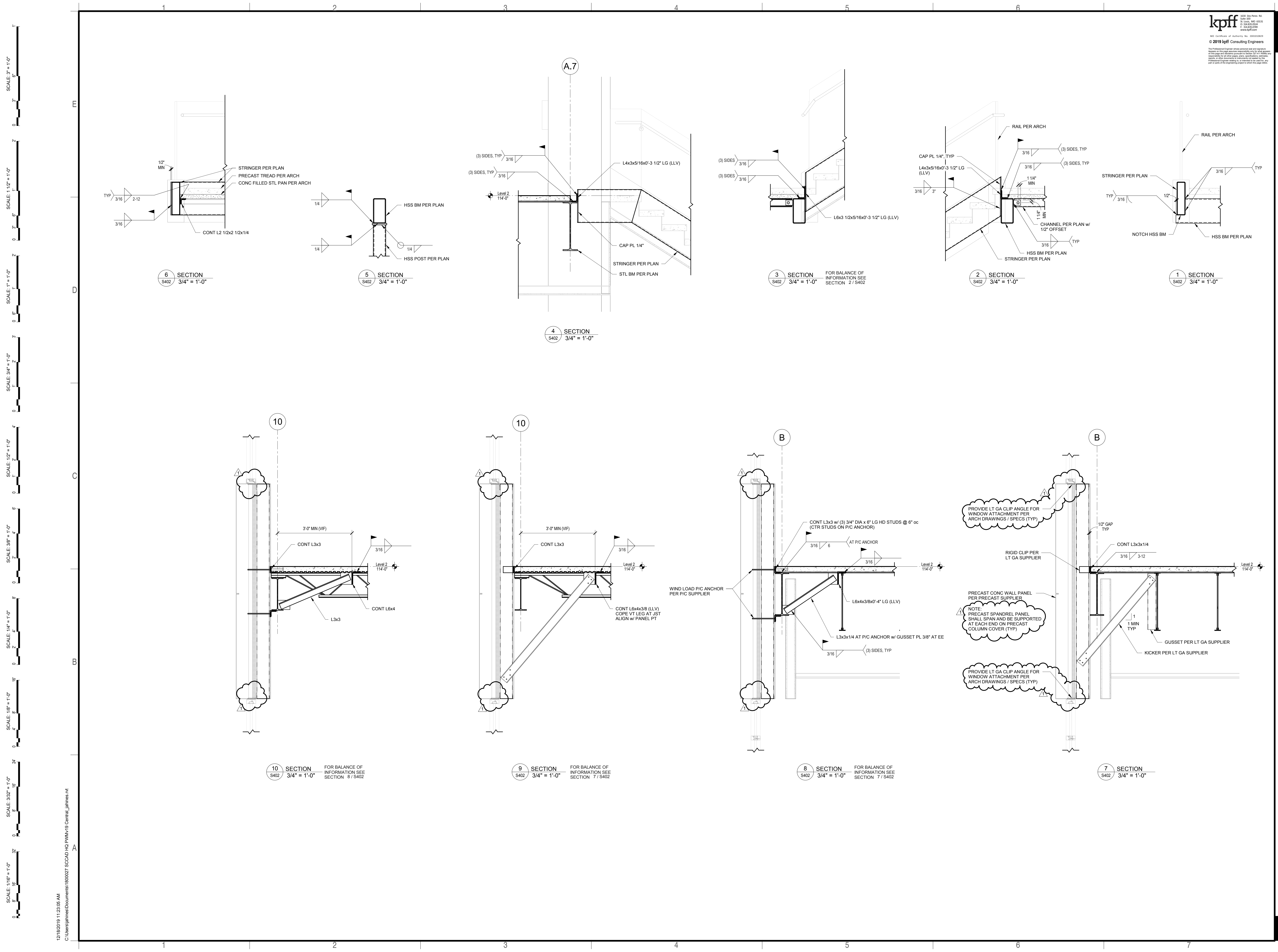
No.	Desc	Date	Address/Sum #1	Revision
1				

Project No:
180027

Sheet No.
S302

Date:
12/02/2019

FOUNDATION SECTIONS



6 SECTION
 S402 / 3/4" = 1'-0"

5 SECTION
 S402 / 3/4" = 1'-0"

4 SECTION
 S402 / 3/4" = 1'-0"

3 SECTION
 S402 / 3/4" = 1'-0"

2 SECTION
 S402 / 3/4" = 1'-0"

1 SECTION
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10 SECTION
 S402 / 3/4" = 1'-0"

9 SECTION
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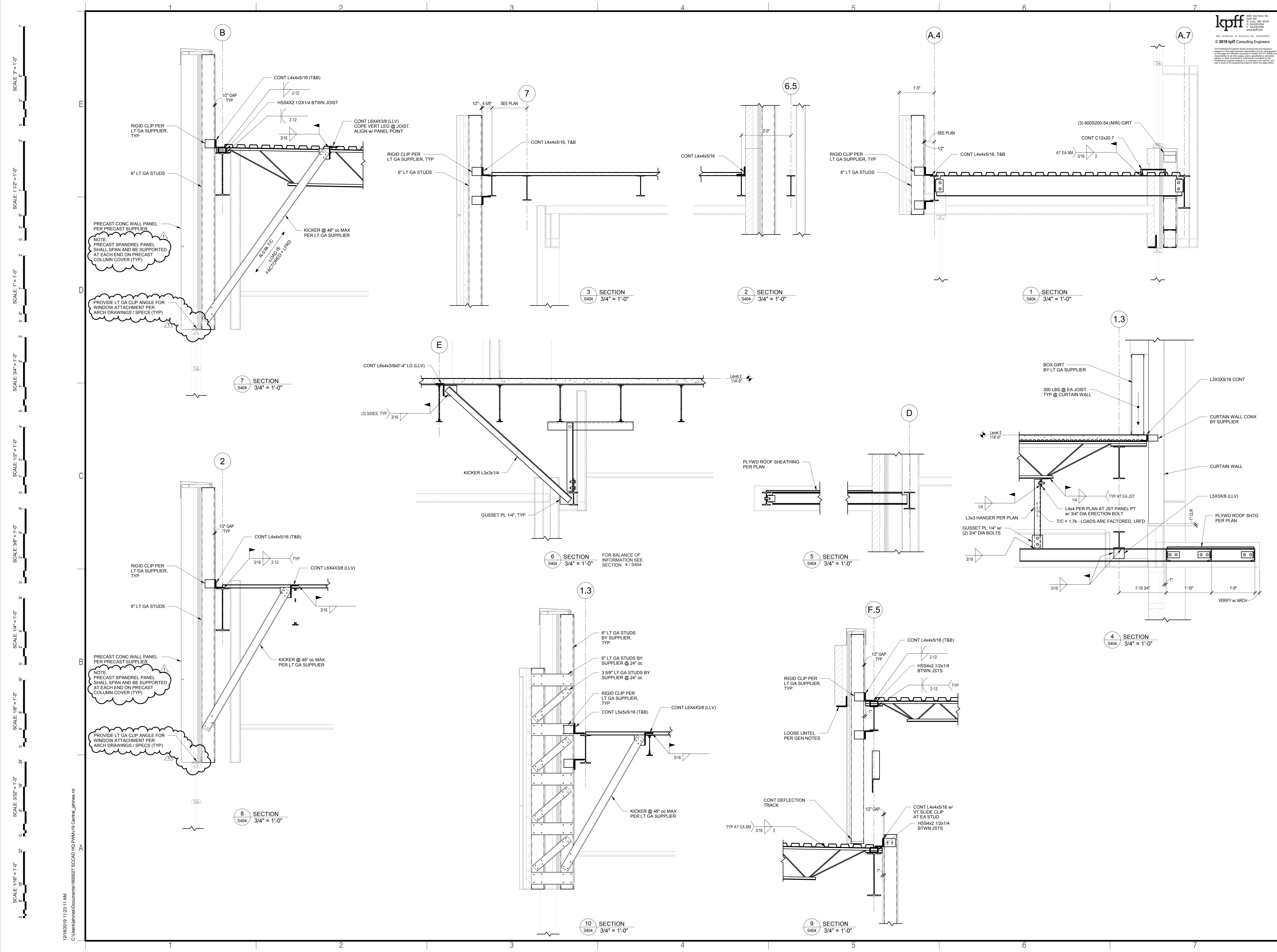
8 SECTION
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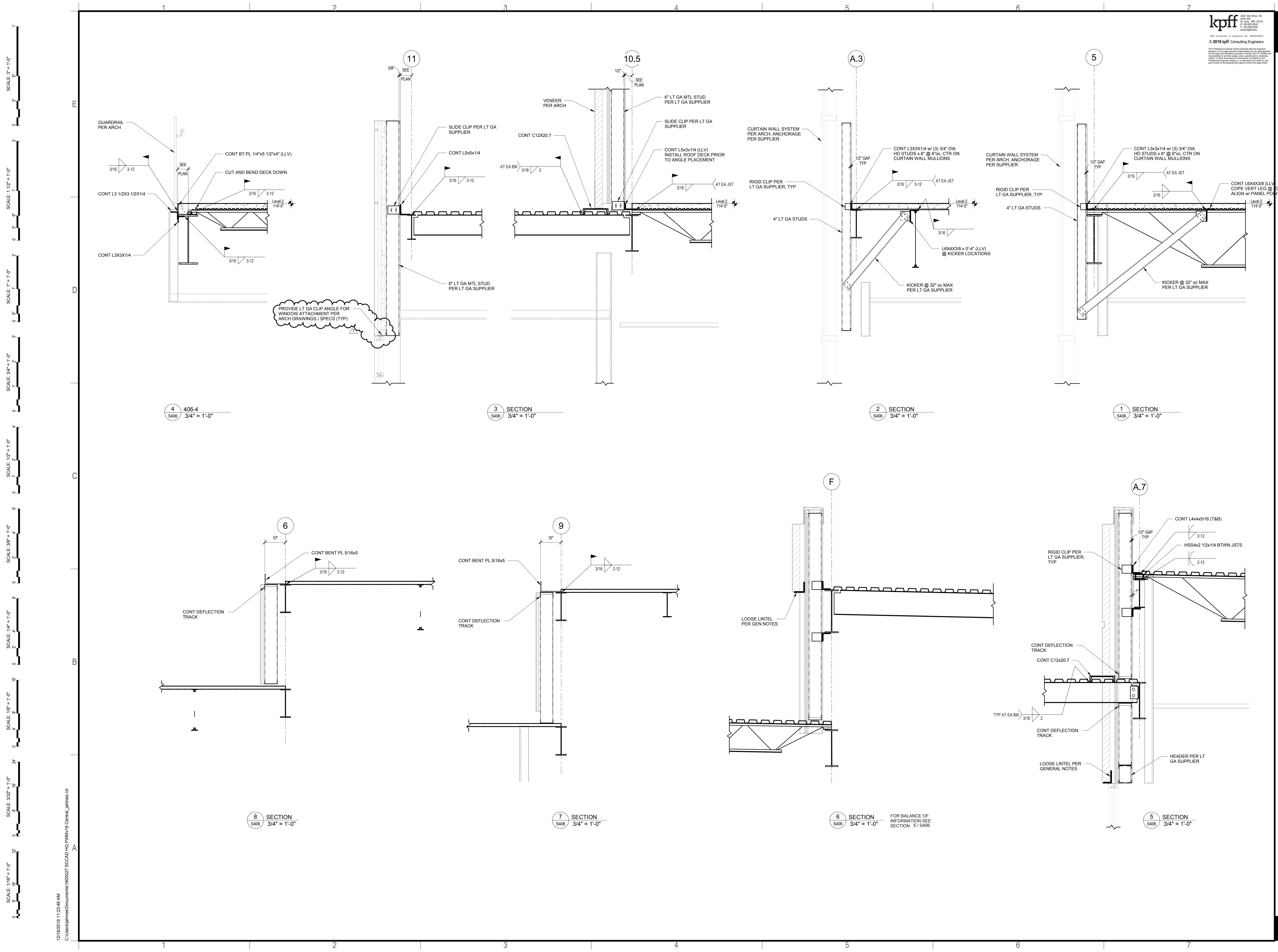
7 SECTION
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12/18/2019 11:23:05 AM
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 SCALE: 1/4" = 1'-0"
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 SCALE: 3/32" = 1'-0"
 SCALE: 1/16" = 1'-0"

No.	Date	Description	Author	Checker
1	12/02/19	ADDITUM #1		





PACKAGED ROOFTOP SCHEDULE

PLAN MARK	MANUFACTURER	MODEL	SUPPLY AIRFLOW	SUPPLY FAN				ESP W/G	BHP	HP	QUANTITY	AIRFLOW CFM	MINIMUM OUTSIDE AIRFLOW CFM	COMPRESSOR MINIMUM QUANTITY	EFFICIENCY		COMPRESSOR STAGES	COMPRESSOR % MODULATION	ELECTRICAL			COOLING COIL		NET TOTAL COOLING MBH		NET SENSIBLE COOLING MBH		HOT GAS REHEAT		HEATING COIL		OPER. WEIGHT LBS	NOTES							
				BHP	HP	QUANTITY	MINIMUM EER								MINIMUM	POWER MCA			VOLT.	PHASE	EDB 'F	EWB 'F	AMBIENT 'F	COIL LDB	COIL LWB	UNIT LWB	NET TOTAL CAP.	TURN DOWN RATIO	EDB 'F	LDB 'F										
RTU 1	Trane	RF025234	7700	6.476	2	2.991	6	2	3.25	14.585	2	10350	3210	2	11.2	10.8	15.7	15-100	77.03	460 V	3	81.0	66.7	95.0	52.2	52.2	35.3	39.9	304.7	212.6	187.1	-	-	350	283.5	5.1	49.0	74.3	6900	12.3,4,6,10
RTU 2	Trane	RF020134	11500	11.336	2	4.137	2	3	3.25	14.585	2	10350	3210	2	11.3	10.8	15.7	15-100	116.3	460 V	3	79.9	66.9	95.0	50.3	50.2	35.4	35.1	455.0	307.1	255.2	-	-	350	283.5	5.1	49.0	74.3	9900	12.3,4,6,10
RTU 3	Trane	RF020134	6100	4.137	2	2.991	2	3	3.25	14.585	2	10350	3210	2	11.3	10.8	15.7	15-100	62.78	460 V	3	81.8	65.9	95.0	50.3	50.2	35.4	35.1	255.2	187.1	187.1	-	-	250	202.5	5.1	55.0	87.5	6900	12.3,4,6,10
RTU 4	Trane	RF020134	10200	8.895	2	3.25	2	3	3.25	14.585	2	10350	3210	2	11.2	10.8	15.7	15-100	87.25	460 V	3	82.5	65.9	95.0	50.3	50.2	35.4	35.1	365.8	291.1	291.1	-	-	350	283.5	5.1	52.0	79.4	7500	12.3,4,6,10
RTU 5A	Trane	YZC120	4800	1.45	2.75	1	0.75	-	-	-	-	-	-	1	12.2	23	-	25-100	31	460 V	3	79.0	68.3	95.0	60.6	60.5	62.6	61.2	112.42	86.10	-	-	200	162.0	2.5:1	50.0	81.6	1540	12.3,4,5,6,7	
RTU 5B	Trane	YZC120	4800	1.45	2.75	1	0.75	-	-	-	-	-	-	1	12.2	23	-	25-100	31	460 V	3	79.0	68.3	95.0	60.6	60.5	62.6	61.2	112.42	86.10	-	-	200	162.0	2.5:1	50.0	81.6	1540	12.3,4,5,6,7	
RTU 5C	Trane	YZC120	4800	1.45	2.75	1	0.75	-	-	-	-	-	-	1	12.2	23	-	25-100	31	460 V	3	79.0	68.3	95.0	60.6	60.5	62.6	61.2	112.42	86.10	-	-	200	162.0	2.5:1	50.0	81.6	1540	12.3,4,5,6,7	
RTU 5D	Trane	YZC120	4800	1.45	2.75	1	0.75	-	-	-	-	-	-	1	12.2	23	-	25-100	31	460 V	3	79.0	68.3	95.0	60.6	60.5	62.6	61.2	112.42	86.10	-	-	200	162.0	2.5:1	50.0	81.6	1540	12.3,4,5,6,7	
RTU 5E	Trane	YZC120	4800	1.45	2.75	1	0.75	-	-	-	-	-	-	1	12.2	23	-	25-100	31	460 V	3	79.0	68.3	95.0	60.6	60.5	62.6	61.2	112.42	86.10	-	-	200	162.0	2.5:1	50.0	81.6	1540	12.3,4,5,6,7	
RTU 5F	Trane	YZC120	4800	1.45	2.75	1	0.75	-	-	-	-	-	-	1	12.2	23	-	25-100	31	460 V	3	79.0	68.3	95.0	60.6	60.5	62.6	61.2	112.42	86.10	-	-	200	162.0	2.5:1	50.0	81.6	1540	12.3,4,5,6,7	
RTU 6	Trane	YHC092	2505	0.94	2.75	1	1	-	-	-	-	-	-	2	12.6	15	3	20	460 V	3	82.2	64.2	95.0	55.0	52.3	56.3	51.2	83.1	70.5	30.5	53.9	71.0	80.00	64	1.1	60.0	96.2	999	23.4,5,6,7,8,9	
RTU 7	Trane	YHC092	1650	0.73	1	1	1	-	-	-	-	-	-	1	13	17.2	2	15	460 V	3	82.6	62.1	95.0	54.0	49.9	55.9	50.7	53.0	48.8	30.5	53.9	84.1	200	160	2.1	55.0	91.1	1608	23.4,5,6,7,8,9	
RTU 8	Trane	YHC092	3200	0.79	2.75	1	1	-	-	-	-	-	-	2	12.4	15.2	3	22	460 V	3	85.9	69.0	95.0	57.4	57.4	58.6	57.9	111.9	89.0	62.5	57.5	84.1	200	160	2.1	55.0	91.1	1608	23.4,5,6,7,8,9	
RTU 9A1	Trane	YHC092	2400	1	2.75	1	1	-	-	-	-	-	-	2	12.6	15	3	20	460 V	3	86.9	63.8	95.0	55.7	51.0	57.5	51.7	83.9	77.8	-	-	150	120	2.1	70.0	116.5	1291	23.4,5,6,7		
RTU 9A2	Trane	YHC092	2400	1	2.75	1	1	-	-	-	-	-	-	2	12.6	15	3	20	460 V	3	86.9	63.8	95.0	55.7	51.0	57.5	51.7	83.9	77.8	-	-	150	120	2.1	70.0	116.5	1291	23.4,5,6,7		
RTU 9A3	Trane	YHC092	2400	1	2.75	1	1	-	-	-	-	-	-	2	12.6	15	3	20	460 V	3	86.9	63.8	95.0	55.7	51.0	57.5	51.7	83.9	77.8	-	-	150	120	2.1	70.0	116.5	1291	23.4,5,6,7		
RTU 9A4	Trane	YHC092	2400	1	2.75	1	1	-	-	-	-	-	-	2	12.6	15	3	20	460 V	3	86.9	63.8	95.0	55.7	51.0	57.5	51.7	83.9	77.8	-	-	150	120	2.1	70.0	116.5	1291	23.4,5,6,7		
RTU 10	Trane	YHC092	3200	0.75	2.75	1	1	-	-	-	-	-	-	1	12.2	15	3	25-100	22	460 V	3	82.4	68.8	95.0	57.3	57.2	58.8	58.2	109.8	79.3	-	-	150.00	120	2.1	55.0	90.4	1540	12.3,4,5,6,10	
RTU 11	Trane	YHC092	1850	0.7	1	1	1	-	-	-	-	-	-	1	15	19.0	2	15	460 V	3	78.8	63.2	95.0	53.0	51.2	54.9	52.0	51.9	42.3	33.0	70.2	80.00	64	1.1	70.0	107.3	999	23.4,5,6,7,8,9		
RTU 12	Trane	YD180	4800	2.23	3	1	1	-	-	-	-	-	-	3	12.5	19.7	3	25-100	37	460 V	3	84.1	65.8	95.0	54.6	53.6	56.6	54.5	165.2	145.7	-	-	350	280	2.5:1	70.0	123.8	2556	23.4,5,6,7	
RTU 13	Trane	YHC047	1280	0.48	1	1	1	-	-	-	-	-	-	1	13	17.5	2	25-100	14	460 V	3	82.9	66.6	95.0	55.2	54.0	56.9	54.7	46.6	36.7	26.7	55.2	74.4	80.00	64	1.1	70.0	116.5	976	23.4,5,6,7,8,9

- NOTES:
 1. PROVIDE WITH VARIABLE SPEED COMPRESSOR.
 2. PROVIDE WITH INTEGRAL KIT AND INVERTER COMPRESSOR TRANSFORMER.
 3. REFER TO EQUIPMENT DATA SCHEDULE FOR ADDITIONAL REQUIREMENTS.
 4. FAN COIL, CONDENSING UNIT AND ASSOCIATED PIPING ARE PART OF ALTERNATE #10.
 5. PROVIDE WITH BAROMETRIC RELIEF.
 6. PROVIDE WITH 100% DRYBULB ECONOMIZER.
 7. PROVIDE WITH SINGLE ZONE VAV CONTROLLER.
 8. PROVIDE MODULATING HOT GAS REHEAT FOR HUMIDITY CONTROL.
 9. PROVIDE WITH 2-STAGE COMPRESSOR.
 10. PROVIDE WITH 24" ROOF CURB.
 11. FANS SHALL BE PROVIDED WITH ECM MOTORS.

VAV BOX SCHEDULE

TYPE MARK	MARK	MANUFACTURER	MODEL	SIZE	AIRFLOWS CFM		HEATING AIRFLOW CFM		EAT		LAT		KW	VOLTAGE	PHASE	MAXIMUM PRESSURE DROP IN-WG	WEIGHT LBS	NOTES
					MAX	MIN	EAT	LAT	KW	VOLTAGE	PHASE							
VAV 6-1	Titus	DESV-12	12	1230	560	860	55.0	88.1	10.0	480	3	0.75	60	1	0.75	60	1	12.3,4,5
VAV 6-2	Titus	DESV-10	10	800	440	960	55.0	87.9	10.0	480	3	0.75	53	1	0.75	53	1	12.4,5
VAV 6-3	Titus	DESV-07	7	450	0	0	55.0	55.0	4.0	277	1	0.75	43	1	0.75	43	1	12.4,5
VAV 10-1	Titus	DESV-12	12	1245	480	480	55.0	81.3	10.0	480	3	0.75	60	1	0.75	60	1	12.3,4,5
VAV 10-2	Titus	DESV-14	14	1960	540	691	55.0	87.0	7.0	480	3	0.00	62	1	0.75	62	1	12.3,4,5
VAV 101	Titus	DESV-16	16	2775	920	920	55.0	85.9	9.0	480	3	0.75	75	1	0.75	75	1	12.3,4,5
VAV 102	Titus	DESV-06	6	270	90	90	55.0	90.1	2.0	277	1	0.75	41	1	0.75	41	1	12.3,4,5
VAV 103	Titus	DESV-10	10	910	400	400	55.0	74.8	2.5	277	1	0.75	53	1	0.75	53	1	12.3,4,5
VAV 104	Titus	DESV-06	6	200	110	110	55.0	83.7	1.0	277	1	0.75	41	1	0.75	41	1	12.3,4,5
VAV 105	Titus	DESV-06	6	400	120	120	55.0	81.3	1.0	277	1	0.75	41	1	0.75	41	1	12.3,4,5
VAV 106	Titus	DESV-06	6	170	150	150	55.0	76.1	1.0	277	1	0.75	41	1	0.75	41	1	12.3,4,5
VAV 107	Titus	DESV-12	12	1220	430	698	55.0	78.9	7.5	480	3	0.75	60	1	0.75	60	1	12.3,4,5
VAV 108	Titus	DESV-06	6	380	140	140	55.0	88.6	1.0	277	1	0.75	41	1	0.75	41	1	12.3,4,5
VAV 109	Titus	DESV-07	7	420	185	321	55.0	89.5	3.5	277	1	0.75	43	1	0.75	43	1	12.3,4,5
VAV 110	Titus	DESV-12	12	1480	780	780	55.0	87.4	8.0	480	3	0.75	60	1	0.75	60	1	12.3,4,5
VAV 111	Titus	DESV-10	10	1000	800	800	55.0	72.8	4.5	480	3	0.75	53	1	0.75	53	1	12.3,4,5
VAV 112	Titus	DESV-08	8	600	230	465	55.0	88.9	5.0	480	3	0.75	43	1	0.75	43	1	12.3,4,5
VAV 113	Titus	DESV-07	7	510	100	202	55.0	86.3	2.0	277	1	0.75	43	1	0.75	43	1	12.3,4,5
VAV 202	Titus	DESV-08	8	770	175	530	55.0	87.8	5.5	480	3							